

Council Assessment Panel Agenda & Reports

16 September 2024

Our Vision

*A City which values its heritage, cultural diversity,
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable
and socially cohesive, with a strong community spirit.*

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067

Telephone 8366 4555
Email townhall@npsp.sa.gov.au
Website www.npsp.sa.gov.au
Socials [f /cityofnpsp](https://www.facebook.com/cityofnpsp) [@cityofnpsp](https://www.instagram.com/cityofnpsp)



City of
Norwood
Payneham
& St Peters

11 September 2024

To all Members of the Council Assessment Panel:

- Mr Stephen Smith (Presiding Member)
- Mr Julian Rutt
- Cr Christel Mex
- Mr Paul Mickan (Deputy Member)
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Kester Moorhouse (Deputy Member)

NOTICE OF MEETING

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in the Council Chambers, Norwood Town Hall, 175 The Parade, Norwood, on:

Monday 16 September 2024, commencing at 7.00pm.

Please advise Tala Aslat on 8366 4530 or email taslat@npsp.sa.gov.au if you are unable to attend this meeting or will be late.

Yours faithfully



Geoff Parsons
ASSESSMENT MANAGER

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067

Telephone 8366 4555
Email townhall@npsp.sa.gov.au
Website www.npsp.sa.gov.au
Socials  /cityofnpsp  @cityofnpsp



City of
Norwood
Payneham
& St Peters

| | | |
|-----|--|----|
| 1. | COMMENCEMENT AND WELCOME | 1 |
| 2. | APOLOGIES..... | 1 |
| 3. | CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT PANEL HELD ON 19 AUGUST 2024..... | 1 |
| 4. | DECLARATION OF INTERESTS | 1 |
| 5. | DEVELOPMENT APPLICATIONS – PDI ACT | 2 |
| 5.1 | DEVELOPMENT NUMBER 24009714 - SHANG WU - UNIT 4 74 FULLARTON ROAD NORWOOD | 2 |
| 5.2 | DEVELOPMENT NUMBER 24019620 - BOOTH REAL ESTATE - 81 OSMOND TERRACE, 16 AND 18 GLOUCESTER TCE NORWOOD | 10 |
| 6. | DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT | 24 |
| 7. | REVIEW OF ASSESSMENT MANAGER DECISIONS..... | 24 |
| 8. | ERD COURT APPEALS | 24 |
| 9. | OTHER BUSINESS | 24 |
| 10. | CONFIDENTIAL REPORTS | 24 |
| 11. | CLOSURE | 24 |

VENUE Council Chambers, Norwood Town Hall

HOUR 7:00pm

PRESENT

Panel Members

Staff

APOLOGIES Cr Christel Mex

ABSENT

1. **COMMENCEMENT AND WELCOME**
2. **APOLOGIES**
3. **CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT
PANEL HELD ON 19 AUGUST 2024**
4. **DECLARATION OF INTERESTS**

5. DEVELOPMENT APPLICATIONS – PDI ACT

5.1 DEVELOPMENT NUMBER 24009714 - SHANG WU - UNIT 4 74 FULLARTON ROAD NORWOOD

| | |
|--|--|
| DEVELOPMENT NO.: | 24009714 |
| APPLICANT: | Shang Wu |
| ADDRESS: | UNIT 4 74 FULLARTON RD NORWOOD SA 5067 CT 5022/783 |
| NATURE OF DEVELOPMENT: | Change of use to indoor recreation facility (pilates studio) |
| ZONING INFORMATION: | <p>Zones:</p> <ul style="list-style-type: none"> • Suburban Business <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Future Road Widening • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree • Traffic Generating Development • Urban Transport Routes <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Maximum Building Height (Levels) (Maximum building height is 3 levels) |
| LODGEMENT DATE: | 17 June 2024 |
| RELEVANT AUTHORITY: | Assessment Panel at City of Norwood Payneham & St Peters |
| PLANNING & DESIGN CODE VERSION: | P&D Code (in effect) Version 2024.10 06/06/2024 |
| CATEGORY OF DEVELOPMENT: | Code Assessed - Performance Assessed |
| NOTIFICATION: | Yes – public notification period 8 July 2024 to 26 July 2024 |
| RECOMMENDING OFFICER: | Marie Molinaro - Urban Planner |
| REFERRALS STATUTORY: | Nil |
| REFERRALS NON-STATUTORY: | Nil |

CONTENTS:

| | | | |
|---------------|----------------------------|---------------|-----------------------------|
| APPENDIX 1: | Relevant P&D Code Policies | ATTACHMENT 4: | Representation |
| ATTACHMENT 1: | Application Documents | ATTACHMENT 5: | Response to Representations |
| ATTACHMENT 2: | Subject Land Map | | |
| ATTACHMENT 3: | Zoning Map | | |

DETAILED DESCRIPTION OF PROPOSAL:

The proposal is to use / lease a vacant office tenancy within a mixed use, non-residential building for a pilates studio. A pilates studio is considered to be a form of indoor recreation facility, defined in the Planning & Design Code as the following:

A building or part of a building designed or adapted primarily for recreation or fitness pursuits.

The building is two-storey in height and contains six (6) business tenancies. The proposed pilates studio is contained to tenancy four (4) on the upper level of the building.

The proposed indoor recreation facility includes the following:

- Retention of tenancy four (4) in its current form (no building alterations), with the installation of nine (9) pilates machines.
- The floor area of the tenancy is approximately 131 square metres.
- Attachment of a flat sheet metal sign to the side wall of the building (facing Montrose Street).

The proposed use is to entail the offering of:

- One-on-one and group session pilates classes for a maximum of four (4) attendees, supervised by one (1) instructor. Nine (9) machines are to be installed as they train different parts of the body.
- Hours of operation are 6:00am to 9:00pm Monday to Sunday.
- Signage is not part of this application.

The application plans are included in ***Attachment 1 – Application Documents***.

BACKGROUND:

| APPROVAL DATE | APPLICATION NUMBER | DESCRIPTION OF PROPOSAL |
|------------------|--------------------|---|
| 28 November 2022 | 22024795 | Change of use from an office to a martial arts studio (tenancy two) |

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: UNIT 4 74 FULLARTON RD NORWOOD SA 5067

Title ref.: CT
5022/783

Plan Parcel: S4501
UN4

Council: THE CITY OF NORWOOD PAYNEHAM AND
ST PETERS

The subject land is on the corner of Fullarton Road and Montrose Street. It is on the eastern side of Fullarton Road, approximately 80m south of The Parade. The two-storey building on the land is located on the Fullarton Road boundary, with an on-site car-park located behind the building. The building contains six (6)

mixed-use tenancies, three (3) on each floor with identical layout and floor area. Access to the upper-level is via a central staircase.

Development Approval was granted in 2022 for a martial arts studio, also a form of indoor recreation facility in tenancy two (2) of the building.

The application documents show twenty-four (24) on-site car-parking spaces, shared with an adjoining site, 6 Montrose Street, Norwood. 6 Montrose Street, Norwood is developed with a two-storey, multi-tenancy non-residential building, mostly comprising offices. Access to the car-park is from Montrose Street.

The Suburban Business Zone is limited to a strip of allotments along a portion of The Parade and along the eastern side of Fullarton Road and a portion of the western side of Fullarton Road to the intersection of Kensington Road (The Britannia intersection).

The Suburban Business Zone along Fullarton Road is flanked either side by the residential Established Neighbourhood Zone.

The subject land is approximately 20m from both the nearest dwellings on the opposite side of Fullarton Road and northern side of Montrose Street.

The subject land is identified in **Attachment 2 – Subject Land Map**. The zoning is shown in **Attachment 3 – Zoning Map**.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Change of use: Code Assessed - Performance Assessed
Indoor recreation facility: Code Assessed - Performance Assessed
Advertisement: Code Assessed – Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
The proposal is not listed as Accepted, Deemed-to-Satisfy or Restricted Development in the Planning & Design Code, so it defaults to being a Performance Assessed type of development.

PUBLIC NOTIFICATION

- **REASON**
Per Table 5 procedural matters of the Suburban Business Zone, indoor recreation facility is not specifically excluded from public notification. The site is within 60m of residential development in a neighbourhood-type zone (Established Neighbourhood), therefore public notification was required.
- **LIST OF REPRESENTATIONS**
One (1) opposing representation was received during the public notification period. The representor does not wish to be heard in support of their written representation.

The representor's details are below:

| Representor Name | Representor's Address | Wishes to be Heard | Nominated Speaker (if relevant) |
|------------------|--------------------------|--------------------|---------------------------------|
| Neil Spence | PO Box 695, Fullarton | No | N/A |

- **SUMMARY**

The issue contained in the representation can be briefly summarised as follows:

- Concern that on-site parking for the development is inadequate.

The representor's written representation is included in **Attachment 4 – Representation**. The applicant's response is provided in **Attachment 5 – Response to Representation**.

As the representor has not provided a street address, their location is not marked on a representation map.

AGENCY REFERRALS

Nil

INTERNAL REFERRALS

Nil

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Appendix One**.

Land Use and Land Use Compatibility

Land use matters are addressed in the Suburban Business Zone provisions.

Suburban Business Zone

Desired Outcome (DO) 1

A business and innovation precinct that includes a range of emerging businesses which have low level off-site impacts. Residential development within the area is subordinate to employment uses and generally includes medium-density housing designed to complement and not prejudice the operation of existing businesses.

Performance Outcome (PO) 1.1

Shops, offices, consulting room, low-impact industry and other non-residential uses are supported by a variety of compact, medium density housing and accommodation types.

Performance Outcome (PO) 1.2

Retail, business and commercial development is of a scale that provides a local convenience service without undermining the vibrancy and function of zones primarily intended to accommodate such development.

Performance Outcome (PO) 1.4

Changes in the use of land between similar businesses encourages the efficient reuse of commercial premises and supports continued local access to a range of services compatible to the locality.

The proposal is for a small-scale non-residential use that supports the efficient reuse of a vacant office tenancy in the Zone.

Performance Outcome 1.1 identifies shops, office and consulting room as the desired non-

industry type commercial uses in the Zone. Indoor recreation facility is not specifically listed, however Performance Outcomes 1.2 and 1.4 are more generous, speaking to commercial development in general and the provision of a range of services compatible to the locality.

With respect to Performance Outcome 1.4 the proposed indoor recreation facility use is considered to be compatible to the locality, comprising low-impact commercial development (mostly offices) and residential uses. The proposed form of indoor recreation facility offering pilates classes is not considered to generate adverse impact, as pilates is a quiet activity undertaken for relaxation.

Amenity Impact on Adjacent Residential Uses

Amenity matters are addressed in the Interface between Land Uses module:

Desired Outcome (DO) 1

Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcome (PO) 1.2

Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.

Performance Outcome (PO) 2.1

Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:

- a) the nature of the development*
- b) measures to mitigate off-site impacts*
- c) the extent to which the development is desired in the zone*
- d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.*

Regarding Performance Outcome 1.2, the Planning & Design Code defines adjacent as within 60m of land. There are adjacent residential uses on Montrose Street and the opposite side of Fullarton Road.

The proposed use is considered to sit comfortably with these adjacent residential uses, through its nature as a small-scale operation not anticipated to generate adverse noise through activity inside the building.

In respect to impact of the proposed hours of operation on residential amenity, the main concern is through associated vehicle and customer noise when entering and exiting the building and on-site car-park. However, given the small number of maximum participants, such noise is not considered to be unreasonable. Further, such noise is considered to be expected for a site on a State Maintained Road (arterial road).

Recommended condition two (2) restricts hours of operation.

Traffic Impact, Access and Parking

Traffic Impact, Access and Parking matters are addressed in the Urban Transport Routes Overlay, Design in Urban Areas and Traffic, Access and Parking modules.

Urban Transport Routes Overlay

Desired Outcome (DO) 2

Provision of a safe and efficient access to and from Urban Transport Routes.

Design in Urban Areas module

Performance Outcome (PO) 23.4

Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.

Traffic, Access and Parking module

Desired Outcome (DO) 1

A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcome (PO) 5.1

Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:

- a) availability of on-street car parking*
- b) shared use of other parking spaces*
- c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared*
- d) the adaptive reuse of a State or Local Heritage Place.*

Performance Outcome (PO) 9.1

The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.

Access to the rear car-park is via an existing cross-over to Montrose Street, which is approximately 22m from the intersection with Fullarton Road. Per Urban Transport Routes Overlay procedural matters, development that changes the nature of vehicle movements or increases the number or frequency of movements through an existing access within 25m of a State Maintained Road requires a referral to the Commissioner of Highways, unless deemed minor in the opinion of the relevant authority (Council).

A referral to the Commissioner of Highways was not undertaken as the nature (type) of vehicle movements will not change as a result of the proposal; and it is difficult to determine if the number or frequency of vehicle movements through the access point will change as a result of the proposal. The former use was office, but with no restriction on the maximum number of occupants.

Development authorisation 22024795, change of use from an office to martial arts studio (also a form of indoor recreation facility) was referred to the Commissioner of Highways. However, this use allowed for a greater number of maximum of participants, being eight (8) at any one time. The Commissioner of Highways referral response provided no comment.

The application documents show twenty-four (24) on-site car-parking spaces, shared with an adjoining site, 6 Montrose Street, Norwood. 6 Montrose Street, Norwood is developed with a two-storey, multi-tenancy mixed use non-residential building.

A search of Council records revealed Development Authorisation – ref. 155/372/2014 for change of use from an office to an integrated shop / office and store for tenancies 1 and 2 at 6 Montrose Street, Norwood. The approved site plan for this authorisation showed twenty-four (24) on-site parking spaces, shared with the subject land in the same layout as the application documents for this proposal.

On this basis, this is the accepted and long-standing on-site car-carking situation.

In respect to Performance Outcome 5.1, what is sufficient on-site vehicle parking is assessed against corresponding Designated Performance Feature (DPF) 5.1, which seeks off-street car-parking in this instance to be provided at a rate set-out in Transport, Access and Parking Table 2 – Off-Street Vehicle Parking Requirements in Designated Areas of the Planning & Design Code.

Table 2 for non-residential development in the Suburban Business Zone that is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service sets a minimum on-site car-parking rate of 3 spaces per 100 square metres of gross leasable floor area and maximum on-site car-parking rate of 6 spaces per 100 square metres of gross leasable floor area. A high frequency bus service operates along The Parade, which is 80m north of the subject land.

The gross leasable floor area of tenancy our (4) is 130 square metres, so a minimum of four (4) on-site car-parking spaces are required.

Based on Table 2, the gross leasable floor area alone for the subject land would require twenty-four (24) on-site car-parking spaces. So, combined with tenancies at 6 Montrose Street there is a shortfall in on-site car-parking. However, as per the development history this has been an accepted feature for a significant length of time.

Further, the applicant is not proposing to make any built form changes as part of the proposal, it is considered reasonable to allow a change of use to occur without requiring an increase in off-street car parking provision. In any case, no additional space exists on the site to increase the off-street car parking provision. To expect otherwise would severely limit the potential for any change in land use to occur on this site without requiring the full redevelopment of the site.

As part of their tenancy agreement the applicant has secured exclusive rights to four (4) of the twenty-four (24) car-parking spaces.

With respect to the representation, it will be a matter for the applicant to resolve through the leasing agency if their allocated on-site car-parking spaces are occupied by users of a different tenancy. Noting also however, the proposed hours of operation are partly outside of regular 9am to 5pm business hours which will assist in reducing potential competition / demand for on-site car-parking spaces.

The approved hours of operation of the martial arts studio on the site are Monday-Tuesday 4:00pm-6:00pm, Wednesday-Friday 8:00am-6:00pm and Saturday-Sunday 11:00am-6:00pm. So, there will be some overlap in hours of operation, but not a complete alignment and desire for car-parking at all the same times.

In respect to Performance Outcome 9.1 what is adequate on-site bicycle parking is assessed against corresponding Designated Performance Feature (DPF) 9.1 which seeks off-street bicycle parking to be provided at rate set-out in Transport, Access and Parking Table 3 – Off-Street Bicycle Parking Requirements.

The proposal does not include on-site bicycle parking, however in the case of indoor recreation facility uses Table 3 desires one (1) space per four (4) employees and an additional one (1) space per 200 square metres of gross leasable floor area.

As there are less than four (4) employees and the floor area is less than 200 square metres the exclusion of on-site bicycle parking is not fatal.

CONSIDERATION OF 'SERIOUSLY AT VARIANCE'

Having considered the proposal against the relevant provisions of the Planning & Design Code (version 2024.10 06/06/2024) the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code for the following reason:

- The proposed indoor recreation facility is a form of commercial development. Commercial development is desired in the Zone.

SUMMARY & CONCLUSION

The proposal is for a change of use to indoor recreation facility (pilates studio) in the Suburban Business Zone. Indoor recreation facilities are not specifically listed as a desired type of commercial development in the Zone, however it is a type of non-residential use with considered low level off-site impacts that supports the efficient re-use of a vacant former office tenancy.

Traffic, access and parking matters are considered to be adequately addressed.

RECOMMENDATION

GRANT PLANNING CONSENT

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
2. Development Application Number 24009714 for change of use to indoor recreation facility (pilates studio) at Unit 4 74 Fullarton Road, Norwood by Shang Wu is GRANTED Planning Consent subject to the following conditions:

CONDITIONS PLANNING CONSENT

Advisory Note 1

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 3

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 4

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

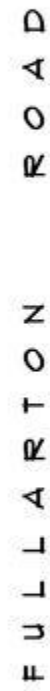
The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 5

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees, verge landscaping, stormwater connections) will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 6

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.



M O N T R O S E A V E N U E

SLP_{P/L}

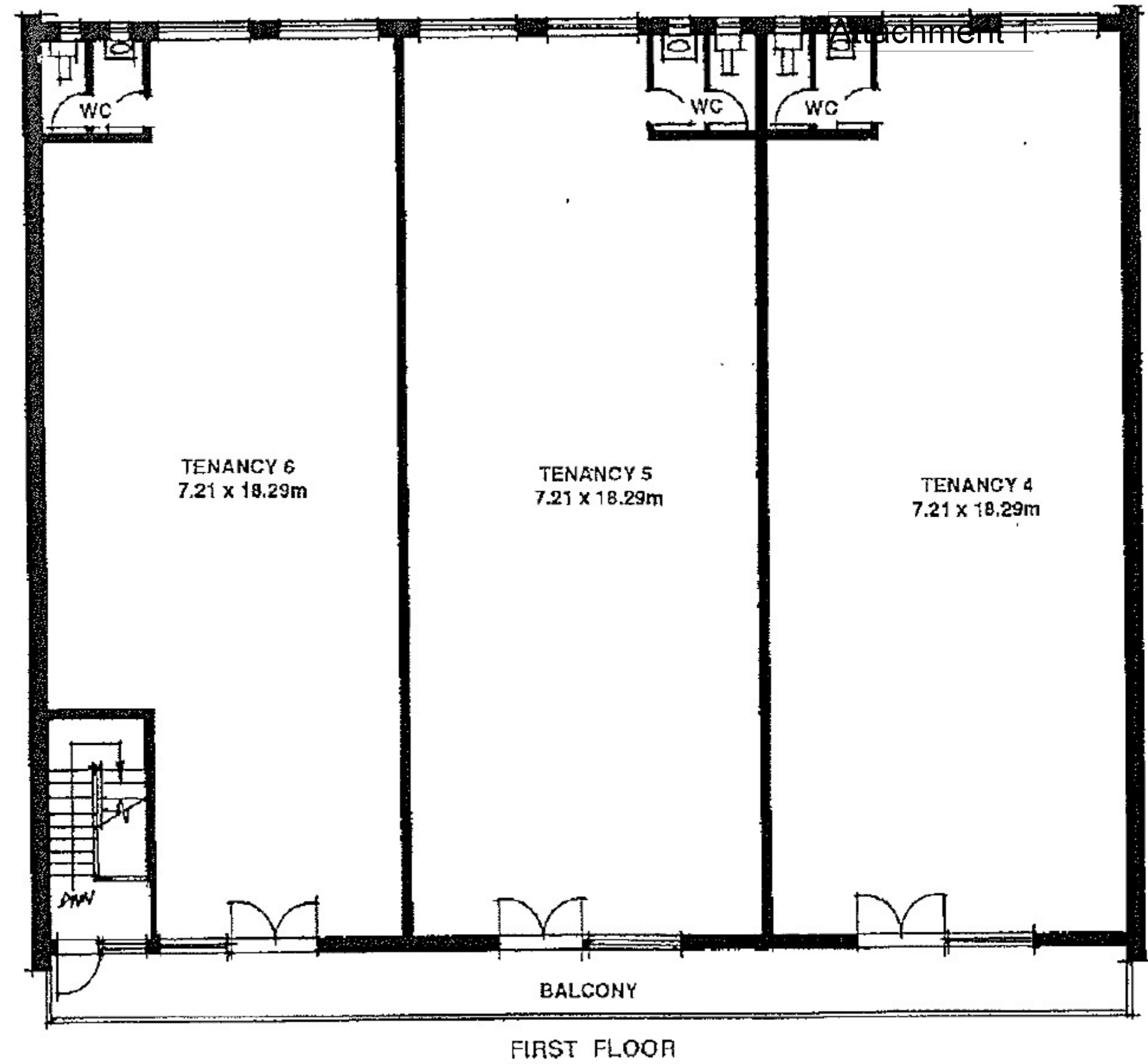
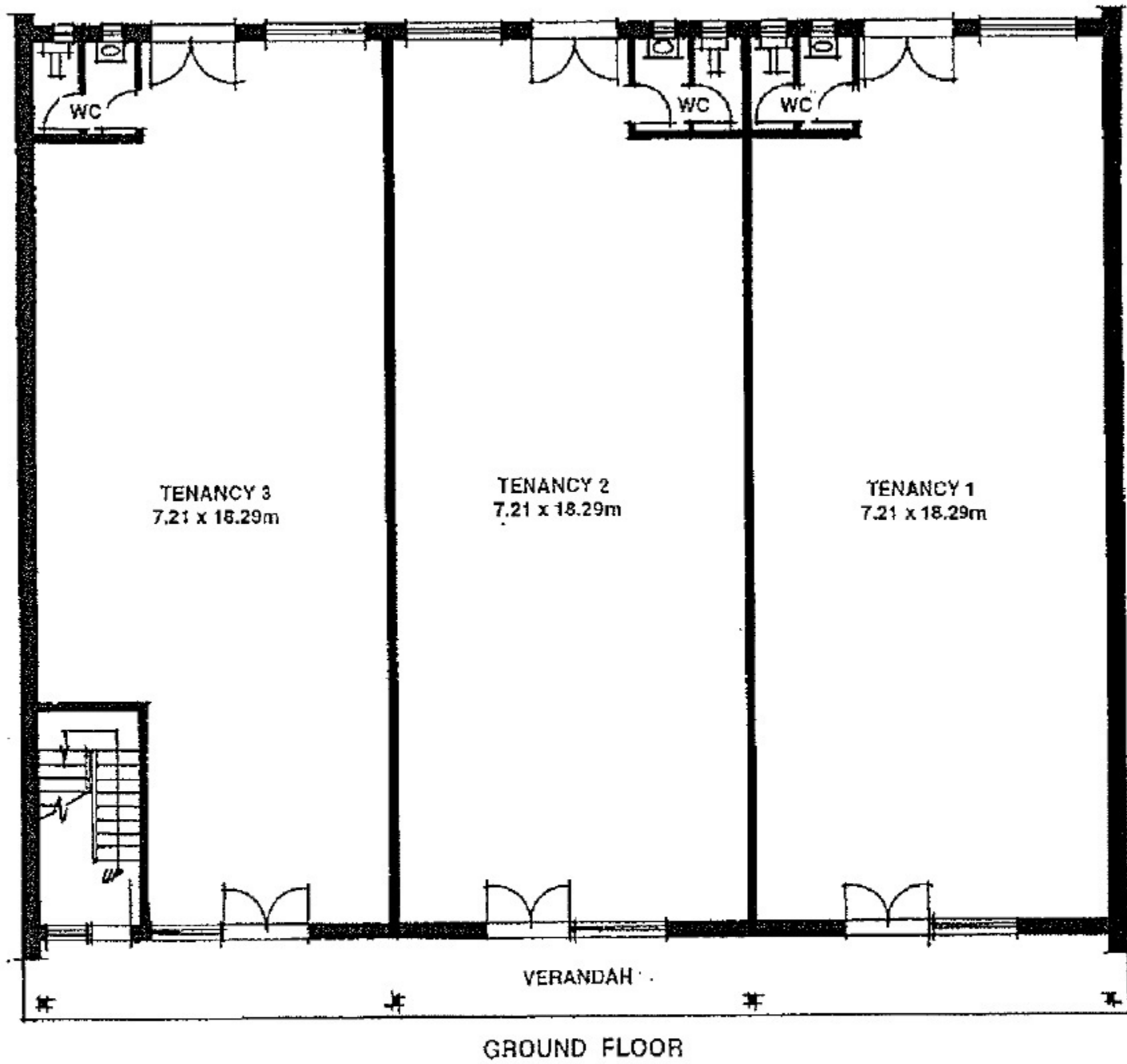
| | |
|-----------|--|
| cells | |
| verendich | |
| punch | |
| balcony | |
| total | |
| | |
| | |

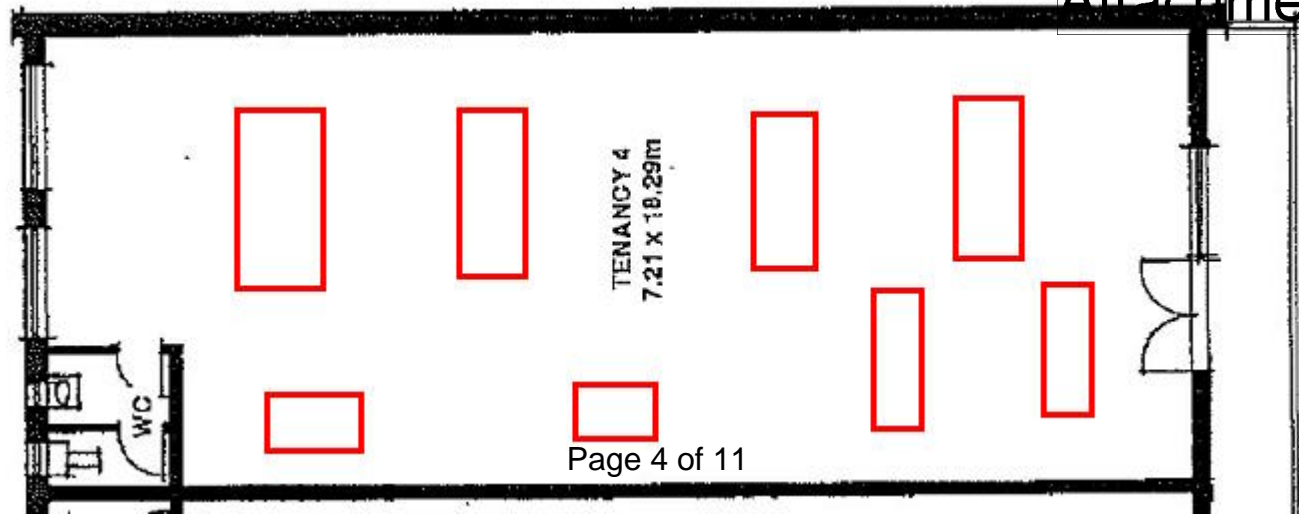
ALL DIMENSIONS AND AREAS
ARE APPROXIMATE ONLY.

© COPYRIGHT
these drawings and documentation are subject to
copyright laws and shall remain the property of
SLP Pty. Ltd. Legal action will
be taken against any infringement in whole or part
unless written authority is given by
SLP Pty. Ltd.

6 MONTROSE AVE & 74 FULLARTON ROAD**NORWOOD****CAR PARK PLAN****Legend**

| Car Park No. | Company |
|---------------------|---------------------------|
| 1 | Adelaide Model Management |
| 2 | Adelaide Model Management |
| 3 | Adelaide Model Management |
| 4 | Myadd |
| 5 | Myadd |
| 6 | Myadd |
| 7 | Myadd |
| 8 | Myadd |
| 9 | Myadd |
| 10 | Myadd |
| 11 | Dr Mobile Repair |
| 12 | Dr Mobile Repair |
| 13 | Unit 3 |
| 14 | Unit 3 |
| 15 | Amber unit 2 |
| 16 | Amber unit 2 |
| 17 | Jak2 Group |
| 18 | Jak2 Group |
| 19 | Amber unit 2 |
| 20 | Amber unit 2 |
| 21 | Unit 4 |
| 22 | Unit 4 |
| 23 | Unit 4 |
| 24 | Unit 4 |





Application ID: 24009714

Convery letter

Pilates Studio

GROUP Class

4 people

Private Class

1v1 and 1v2

1 teacher in class

Appointment only

From 6AM---9PM (Normally)

10AM—1PM, 5:30PM-9:30 PM (Now in other place)

Music: light music for class.

1 toilet

We are doing small group and private Pilates in this place.

For normally Pilates and Clinical Pilates.

We will put 8-9 Pilates machines in the room.

Thank you.

About first Question

Our Clinical Pilates course is a private training session that can be conducted one-on-one or in a one-on-two setting. The course is designed to provide personalized guidance and training for each participant. During the session, we utilize 5 to 6 different Pilates apparatus, including but not limited to: the Reformer, Cadillac, Spine Corrector, Barrel, Pilates Bed, and Pilates Ring.

That's the reason for more Pilates equipment in my place.

Thank for your patience and understanding

Marie Molinaro

From: S W ·
Sent: Tuesday, 27 August 2024 12:01 PM

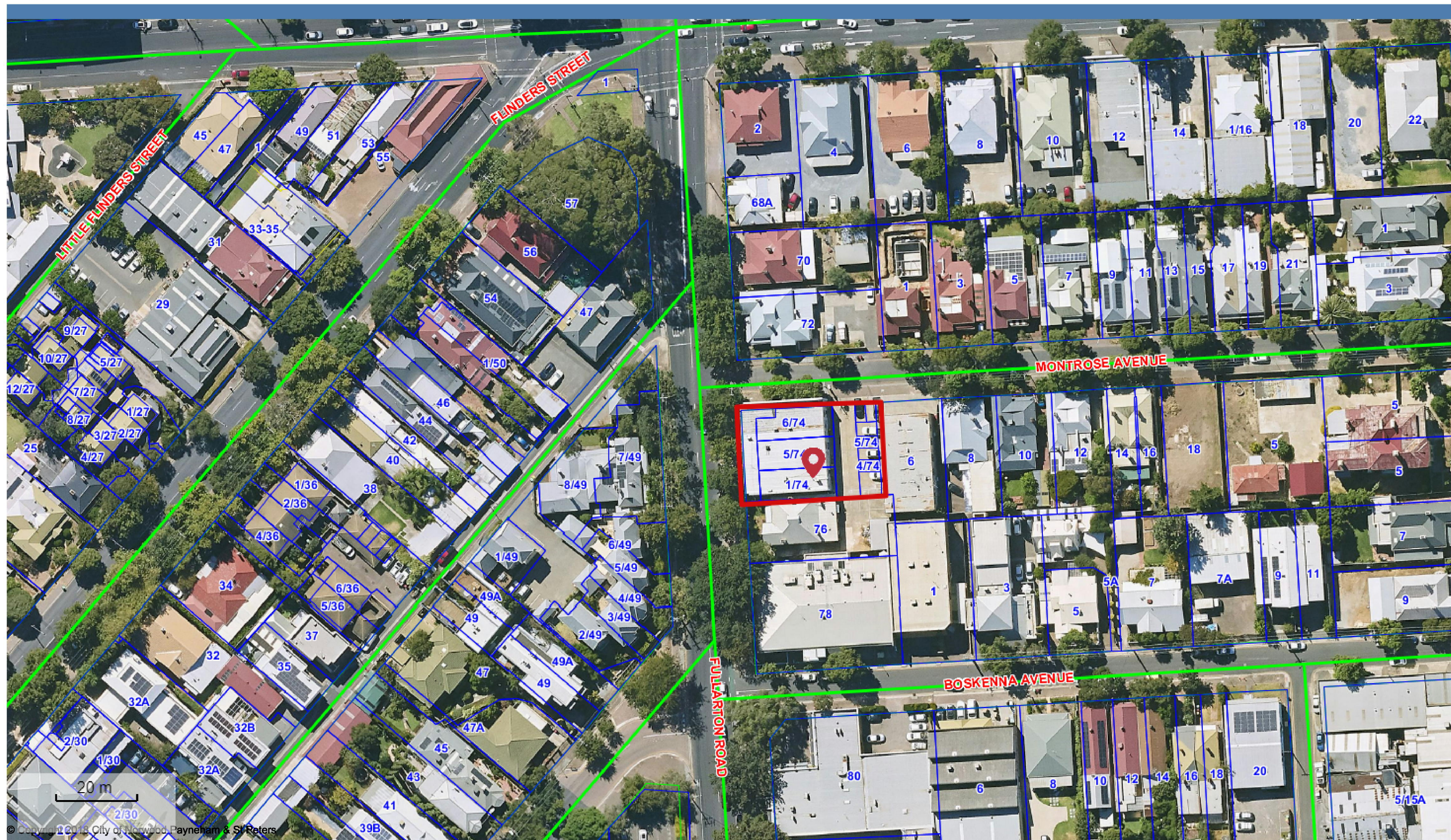
Hi Marie

Thank you for your asking.

1. Our business hour is 6AM-9PM (7days)
2. For the sign, if we want have our business sign, we will re-badging an existing sign. or just little sign for show the direction, on the glass next to the door or up.

Kind regards

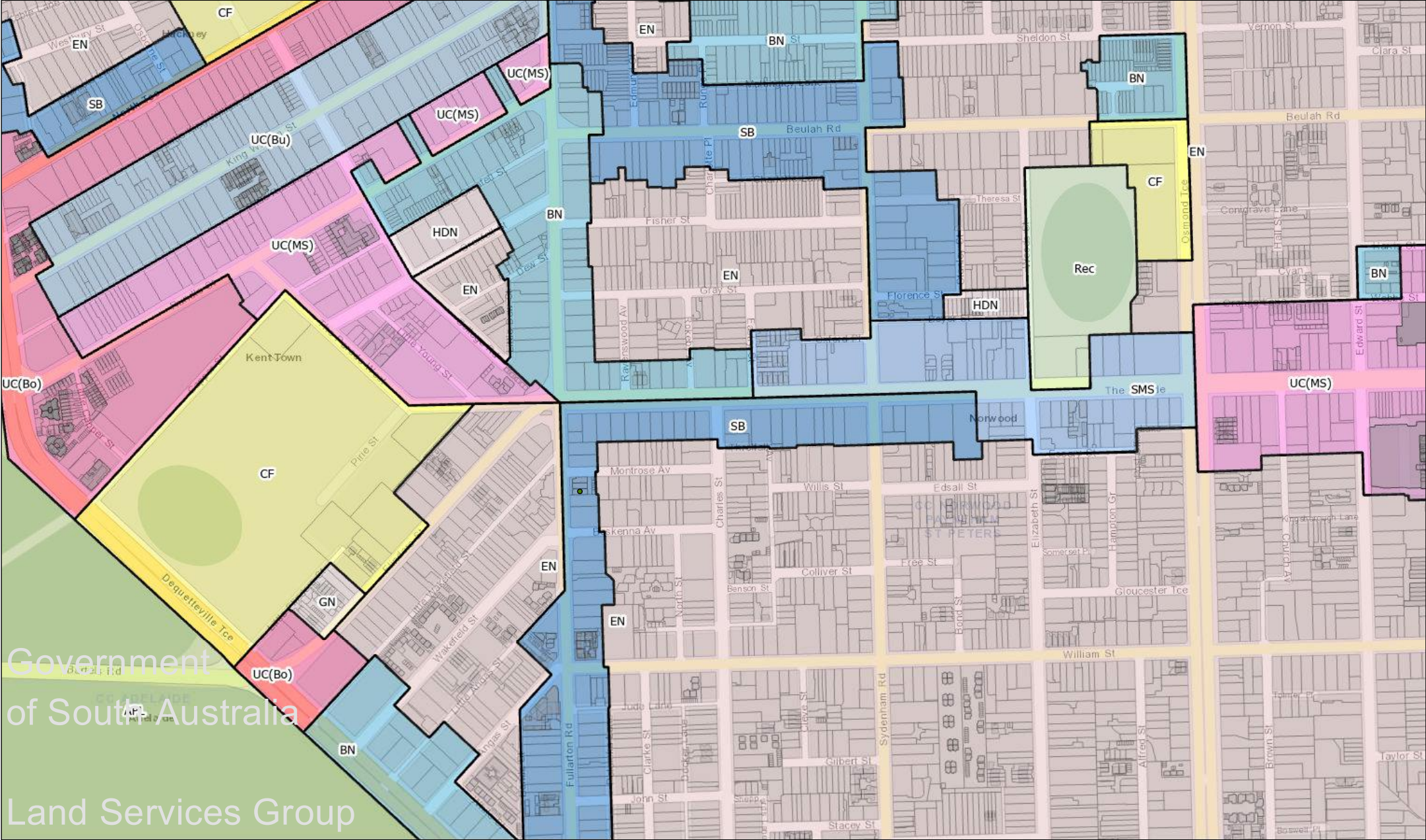
Shang



SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Attachment 3 - Zoning Map



Government
of South Australia
Land Services Group

Application Summary

| | |
|----------------|--|
| Application ID | 24009714 |
| Proposal | Change of use to indoor recreation facility (pilates studio) |
| Location | UNIT 4 74 FULLARTON RD NORWOOD SA 5067 |

Representations

Representor 1 - Neil Spence

| | |
|--|--|
| Name | Neil Spence |
| Address | PO Box 695 FULLARTON SA, 5063 Australia |
| Submission Date | 26/07/2024 11:41 PM |
| Submission Source | Online |
| Late Submission | No |
| Would you like to talk to your representation at the decision-making hearing for this development? | No |
| My position is | I oppose the development |

Reasons

The concern here is parking. According to the site map, Unit 4 has four designated car parks. However, the recent refurbishment of the neighbouring property at 76 Fullarton Road includes a fence along its northern boundary. That fence will effectively make car park #23 unusable. According to the applicant's covering letter, the maximum class size is four people. This number, plus the instructor, means that a total of five car parks are required. Only three will be available, leaving a shortfall of two car parks. Please bear in mind that Unit 2 was given approval last year for use as a gym facility. It holds group classes of up to 10-12 people. Unfortunately, their clients park anywhere they can in the car park area (that is, car spaces #1 to #24), infringing the rights of those tenants with designated car parks. Approval of the present development is only going to make the situation worse.

Attached Documents

Respond this way:

The comments from Neil are noted but the class size is small but so is the number of staff (1). Any office will have more visitor and staff working within the office then 5 people (1 staff member).

Neil doesn't have any allocation of car spaces and is attempting to ensure there is ample room for his use.

The proposed use is one of the softest uses for this location.

The time of when the tenancy is used also falls outside standards business hours on most occasions.

We don't consider Neil's comments to have much merit at all.

Kind regards,



adl.mcgees.com.au

Igor Jaric
Executive - Sales & Leasing

Sales | Leasing | Property & Facilities Management | Valuations | Advisory



Celebrating **40 Years**
of McGees Property

1984 - 2024

DISCLAIMER: Liability limited by a scheme approved under Professional Standards Legislation.

McGees Property takes the risk of cyber-fraud seriously. For your own security, it is important that you take extra steps and verbally verify our bank account details before you transfer any funds. Do not reply to an email from McGees asking for payment before verifying its authenticity with us. To confirm our telephone number, please independently look up the telephone number rather than using the details in this correspondence.

WARNING: This message may contain privileged and confidential information intended only for the use of the addressee named above. If you are not the intended recipient of this message you are hereby notified that any use, dissemination, distribution, or reproduction of this message is prohibited. If you have received this message in error, please notify the sender immediately.

**5.2 DEVELOPMENT NUMBER 24019620 - BOOTH REAL ESTATE
- 81 OSMOND TERRACE, 16 AND 18 GLOUCESTER TCE NORWOOD**

| | |
|--|--|
| DEVELOPMENT NO.: | 24019620 |
| APPLICANT: | Booth Real Estate |
| ADDRESS: | 81 OSMOND TCE NORWOOD SA 5067 81 OSMOND TCE NORWOOD SA 5067 18 GLOUCESTER TCE NORWOOD SA 5067 16 GLOUCESTER TCE NORWOOD SA 5067 |
| NATURE OF DEVELOPMENT: | Change of use from offices to three (3) detached dwellings, with associated partial demolition of a Local Heritage Place, building alterations and additions, internal building works, carports and garaging, fencing, and the removal of one (1) Significant Tree |
| ZONING INFORMATION: | Zones: <ul style="list-style-type: none"> Established Neighbourhood Overlays: <ul style="list-style-type: none"> Airport Building Heights (Regulated) Local Heritage Place Prescribed Wells Area Regulated and Significant Tree Stormwater Management Urban Tree Canopy Heritage Adjacency Technical Numeric Variations (TNVs): <ul style="list-style-type: none"> Minimum Frontage (Minimum frontage for a detached dwelling is 9m; semi-detached dwelling is 8m; row dwelling is 6m; group dwelling is 18m; residential flat building is 18m) Minimum Site Area (Minimum site area for a detached dwelling is 250 sqm; semi-detached dwelling is 250 sqm; row dwelling is 250 sqm; group dwelling is 250 sqm) Maximum Building Height (Levels) (Maximum building height is 2 levels) |
| LODGEMENT DATE: | 8 Jul 2024 |
| RELEVANT AUTHORITY: | Assessment panel/Assessment manager at City of Norwood, Payneham & St Peters |
| PLANNING & DESIGN CODE VERSION: | P&D Code (in effect) Version 2024.12 04/07/2024 |
| CATEGORY OF DEVELOPMENT: | Code Assessed - Performance Assessed |
| NOTIFICATION: | Yes |
| RECOMMENDING OFFICER: | Edmund Feary Senior Urban Planner |
| REFERRALS STATUTORY: | None |
| REFERRALS NON-STATUTORY: | David Brown- Heritage Advisor |

CONTENTS:

| | |
|--|---|
| APPENDIX 1: Relevant P&D Code Policies | ATTACHMENT 5: Representations |
| ATTACHMENT 1: Application Documents | ATTACHMENT 6: Response to Representations |
| ATTACHMENT 2: Subject Land Map | ATTACHMENT 7: Internal Referral Advice |
| ATTACHMENT 3: Zoning and Locality Map | ATTACHMENT 8: Land Management Agreement |
| ATTACHMENT 4: Representation Map | |

DETAILED DESCRIPTION OF PROPOSAL:

The application seeks the change of use from office to residential, with three detached dwellings created, and a fourth allotment to be a vacant residential parcel. In order to achieve this, the application includes the following:

- Internal building work (including internal demolition);
- Construction of two single storey “dwelling additions” (noting that they are not currently dwellings);
- Construction of three carports;
- Fencing work;
- General restoration works.

BACKGROUND:

The site was developed as a mansion for Thomas Gepp MP (who was Mayor of Norwood immediately prior to his building the mansion). This complex included detached buildings for stables and a library, both of which also remain alongside the mansion.

At some point, the site was converted to offices (this was likely before a Development Application would have been required for such a change of use, as no such application is recorded).

The owner later sought to divide the site into four separate allotments to facilitate a future residential development. This included two different applications:

- 155/596/2008
 - Nature of Development: The construction of three (3), two-storey detached dwellings and associated fencing and retaining walls and the removal of three (3) significant trees.
 - This seems to have received Planning Consent, but not Development Approval.
- 008/009/2011
 - This was a Torrens Titled Land Division (1-into-4).
 - This saw the mansion, stables, library and car park all on separate allotments, and was implemented.

As part of this latter application, Council staff raised concerns regarding losing the heritage value of the library and stables buildings, which were not separately heritage listed, as well as that the office might be separated from its car park. In order to manage these issues, a Land Management Agreement was entered into (**Attachment 8**).

The intent of the LMA is considered to primarily involve:

- The retention and adaptive reuse of the buildings which contribute to the heritage value of the site;
- To ensure a sufficient level of car parking is provided to accommodate the existing commercial uses of the
- land; and

- To ensure that individual allotments are not converted to residential purposes unless and until that occurs for the entire land comprising all four allotments.

The applicant has approached Council to advise that they intend on selling the land (in this case, to sell each of the allotments individually to separate purchasers). As a result of the Land Division approval above, 81 Osmond Terrace, Norwood, consists for four (4) individual allotments identified as follows:

- Allotment 101, Osmond Terrace, Norwood (CT 6158/814) – Contains the “mansion”;
- Allotment 102, Osmond Terrace, Norwood (CT 6158/815) – Contains the “library”;
- Allotment 103, Gloucester Terrace, Norwood (CT 6158/816) – Contains a majority of the car park area; and
- Allotment 104, Gloucester Terrace, Norwood (CT 6158/817) – Contains the “stables”.

Clauses 7.1 and 7.2 in the LMA state the following:

- 7.1 *Subject to clause 14 of this Deed, the Owner covenants to not change the use of any portion of the Land to a residential land use pursuant to an application submitted under the Act unless the Owner concurrently seeks to change the use of the whole of each of the four (4) allotments proposed in the Land Division Plan to a residential land use; and*
- 7.2 *Enter into a contract of sale for any of the four (4) allotments proposed in the Land Division Plan, until such time as the use of the whole of the Land has been lawfully changed to a residential land use by way of an application that has been approved and implemented under the Act unless that contract of sale is for the transfer of the whole of the four allotments proposed in the Land Division Plan to a single purchaser.*

This application is intended to comply with clause 7.1 as above. The applicant does not necessarily intend to construct what is approved, but to sell the land with the approval such that it can be implemented (or amended) by a future purchaser.

Clause 7.2 cannot be complied with because it requires the whole of the land to be converted to residential purposes (which would not only require an approval, but also implementation of that approval) prior to a contract of sale being entered into. The Owner wishes to sell the allotments as is, allowing purchasers to either implement the approval they obtain, or to implement an amended design for their own dwellings / conversions of existing buildings to dwellings. As a result, Council has agreed to a waiver of clause 7.2 with the following motion at the July 2024 meeting:

Cr Robinson moved:

1. *That pursuant to Clause 20 of the Land Management Agreement applicable to 81 Osmond Terrace, Norwood, the Council hereby waives compliance with Clause 7.2 of the Land Management Agreement, for the purposes of allowing for contracts of sale to be entered into for each of the properties.*
2. *That the Council notes that this waiver is conditional upon the following:*
 - a. *the subject land (inclusive of each individual allotment) being converted to residential use (which is to be confirmed in the contracts of sale for each of the properties);*
 - b. *prior to settlement of each contract of sale, a new Land Management Agreement is entered into and registered on the applicable titles for each land parcel comprising 81 Osmond Terrace, Norwood, requiring each land parcel to only be used for residential purposes until all allotments are used for residential purposes.*
3. *That the Council authorises the Mayor and Chief Executive Officer to sign and seal the revised Land Management Agreement which replaces the “Background” section together with Clauses*

7.1 and 7.2 and any consequential amendments, with confirmation that each allotment may only be used for residential purposes until all allotments are used for residential purposes.

Seconded by Cr Whittington and carried unanimously

Discussions regarding the exact wording of the replacement LMA, as stated in Part 3 of the above resolution, are ongoing and have not yet been assented to.

The site was also the subject of application 23019832, which sought, "Partial removal of existing brush fencing, and construction of a new picket fence, with driveway and associated landscaping". This was also the subject of an LMA waiver from Council (due to a driveway not necessarily being consistent with "similar to landscaping typical of the era of the construction of the Mansion" as per clause 6.5 of the LMA. This Development Application received Development Approval but has yet to be implemented.

SUBJECT LAND & LOCALITY:

Site Description:

- The site is a group of four allotments which were divided as part of DA 008/009/2011. The site has been used as an office prior to now, though there is no current tenant. All four allotments formed part of the office complex.

| | | |
|--|----------------------------------|--|
| Location reference: 81 OSMOND TCE NORWOOD SA 5067 | | |
| Title ref.: CT 6158/814 | Plan Parcel: D95918 AL101 | Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS |
| Location reference: 81 OSMOND TCE NORWOOD SA 5067 | | |
| Title ref.: CT 6158/815 | Plan Parcel: D95918 AL102 | Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS |
| Location reference: 18 GLOUCESTER TCE NORWOOD SA 5067 | | |
| Title ref.: CT 6158/816 | Plan Parcel: D95918 AL103 | Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS |
| Location reference: 16 GLOUCESTER TCE NORWOOD SA 5067 | | |
| Title ref.: CT 6158/817 | Plan Parcel: D95918 AL104 | Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS |

Shape: Mostly rectangular, with a corner cutout in the northeastern corner, and a rectangular cutout in the southwestern corner.

Frontage Width: 29.3m to Osmond Terrace, 57.9m to Gloucester Terrace

Area: 1942sqm

Topography: mostly flat

Existing Structures: the major building on the site is the local heritage listed "mansion" on the northeastern allotment. This includes a later addition at the rear of the building constructed from red bricks (compared to the mansion being of sandstone). To the south of this building, an annex (which is not original) connects the mansion to the original library. In the northwestern corner is the original stable block, also constructed primarily from sandstone. On the southern side of the stable are further ancillary structures such as an outhouse. The southwestern allotment has no structures at present, being paved for car parking associated with the existing office.

Existing Vegetation: The most notable vegetation feature on the site is the significant palm tree (understood to be a species of *washingtonia*, likely *Washingtonia filifera* or California Palm). This

is at the rear (western) side of the library building, and while no specific measurement of distance from the wall is provided, it would be substantially less than 3m from the rear wall of the library. There are also hedges at the rear of the mansion and the rear of the stables. In front of the mansion and library (i.e. on the eastern or Osmond Terrace side) there are a series of small trees and medium/large shrubs. There are also large, mature street trees on both Osmond Terrace and Gloucester Terrace immediately adjoining the property.

Locality

The locality of the site is considered to extend some 120m along Osmond Terrace to the north, and 180m south. It extends the full length of Gloucester Terrace, around 120m west of the site. To the east, the locality only includes those allotments with a frontage to Osmond Terrace, given the width of the road, noting its wide median strip. This locality is shown in the locality map in **Attachment 3**.

Osmond Terrace is a residential boulevard, characterised by its wide (~11m), grassed median strip. It has historically been lined with large mansions, those in recent years these have increasingly been divided into smaller allotments. One such example is "Warinilla" at 92 Osmond Terrace, which was an historic mansion which became a drug and alcohol rehabilitation clinic, before more recently being converted to residential use, and divided into a series of smaller allotments. With this being redeveloped, the locality is entirely residential.

Gloucester Terrace is a short, relatively narrow and relatively quiet residential street. Allotments on Gloucester Terrace are typically around 200-400sqm in area, with both historically small dwellings, and some more recent subdivision activity.

Both streets have large, mature street trees, with London Plane Trees being typical on Osmond Terrace, and Gloucester Terrace being more varied (with Queensland Box and Ironbark trees being slightly more prominent).

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 - Carport or garage
 - New housing
 - Tree-damaging activity: Code Assessed - Performance Assessed
 - Detached dwelling: Code Assessed - Performance Assessed
 - Fences and walls
 - Carport: Code Assessed - Performance Assessed
 - Outbuilding (Carport or garage): Code Assessed - Performance Assessed
 - Fence: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 - Code Assessed - Performance Assessed
- **REASON**
 - P&D Code; No other pathway- Local Heritage Place

PUBLIC NOTIFICATION

- **REASON**
 - Involves partial demolition of a Local Heritage Place

• **LIST OF REPRESENTATIONS**

| Given Name | Family Name | Address | Position | Wishes to be heard? |
|------------|-------------|--|--------------------------|---------------------|
| Lilly | Fitzgerald | PO Box 605, MAGILL SA 5072 | Opposed | No |
| James | Bennett | 75 William Street, Norwood SA 5067 | Supportive | No |
| Eva | Spitzer | 17 Gloucester Terrace, Norwood SA 5067 | Supportive with concerns | No |

• **SUMMARY**

Ms Fitzgerald objected to the removal of the significant tree, the partial demolition and the density proposed. As the density was already established when the land division was approved, this is not addressed in the assessment below, though the other points will be addressed.

Mr Bennett was of the view that the tree removal would have a limited impact, that the change of use was more consistent with the locality than the existing use, and that the works to be done to convert the properties for residential use were fairly insignificant.

Ms Spitzer was concerned about the impact of additional demand for on-street parking during construction. As noted in the applicant's Response to Representations, there is no policy in the Planning and Design Code relating to this, and as such this not addressed further in the assessment section of this report.

AGENCY REFERRALS

None

INTERNAL REFERRALS

The application was referred to Council's Heritage Advisor. This advice is included in **Attachment 7**. He was concerned by the fencing and the internal layout of the library.

The application was not referred to Council's City Arborist as the tree is not considered worthy of retention, which is a planning, rather than arboricultural consideration (though the City Arborist did provide confirmation of the species of the tree).

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Question of Seriously at Variance

The proposed development is fundamentally for a change of use to a residential use within the Established Neighbourhood Zone, which is a predominately residential Zone. Dwellings are envisaged under DPF 1.1 of the Zone.

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

Land Use

The site is proposed to be used for four detached dwellings, with designs shown for three such dwellings. As noted previously, the locality is entirely residential, and the site is in the Established

Neighbourhood Zone, which envisaged predominately residential development. As such, the use of the site for residential purposes is considered suitable.

Heritage

A report has been prepared by Council's Heritage Advisor, David Brown, and is provided in **Attachment 7**.

Internal Works (including demolition)

The partial demolition works which triggered the public notification are all either internal, or are the later addition in the form of the annex. The LMA recognises that the annex has no heritage value and requires its removal. The internal works to the LHP are in the later addition at the rear, and are not considered to diminish the heritage value of the property.

Mr Brown did object to the extent of internal work in the library building, as this compromises the heritage value of its high vaulted ceiling. While it is agreed that this could be more sensitive to the building and space, this building is not a Local Heritage Place, and unlike the mansion itself, internal building work in this building would not require approval either under a Development Application, or the LMA.

Carports

Mr Brown suggests that there is a general lack of detail in relation to the proposed carports. The plans do show the proposed height, position (including post locations), and paint colour for the carports, which is considered sufficient for the purposes of Planning Consent.

Restoration Work

Mr Brown notes that no restoration works to the exterior of the Local Heritage Place are included in the application. While any such works would likely ultimately be in the best interests of any future owner, there is not considered to be sufficient justification to require the applicant to include external restoration works in the application.

It was also noted that there was at the time an inconsistency between an annotation relating to the upper floor street facing window in the stables, and the materials schedule. This has since been resolved and clarified that the window frame would be timber to match the existing window.

Fencing

Mr Brown suggests that, "The LMA states that suitable historically acceptable front and dividing fence designs needed to be provided as a part of the change of use for sale." While clauses 6.1-6.4 of the LMA relate to fencing, Administration respectfully disagrees with Mr Brown's interpretation of when these provisions are "triggered". It is also noted that the Panel is assessing a Development Application rather than an LMA waiver, but these details are provided for the sake of context.

Clause 6.1 outlines that there shall be no side fencing erected between the mansion and the library forward of the buildings. While such a fence is shown on the plans, they are accompanied by a note which clarifies that this would be subject to a further approval, and is not approved in this application.

Regarding Clauses 6.2 and 6.3, it is Administration's view that these are only effective upon such time as the owner seeks to change fencing on either the Osmond Terrace or Gloucester Terrace boundaries of the site. The proposed development does not include any alteration to street facing fencing, and it is administration's view that therefore these clauses are not relevant to this application.

Clause 6.4 is relevant to the proposed internal fencing, but notes on the site plan show "FE:03" as being, "traditional profile corrugated metal sheeting post & rail in woodland grey". This is consistent with the profile and colour sought by this clause of the LMA, and is therefore suitable. "FE:04" is proposed on some parts of the library and stables

allotments. This is a timber batten “screen” but it is functionally a fence. Despite the provisions of the LMA, Council’s Heritage Advisor has no objection to this type of fencing, and as such, Administration would be willing to entertain a waiver or amendment should the applicant formally seek this. For the purposes of this application, FE:04 is only applied on the stables and library allotments, neither of which are listed as Local Heritage Places. As such, this fencing does not constitute development in its own right.

Setbacks, Design & Appearance

The overall site coverage is calculated at 663.7sqm of 1675sqm for a percentage of 39.6%- this excludes the balance “car park” allotment since no building is proposed on this site, but does include the common driveway despite the fact that this is technically on the car park allotment. This is felt to

give a more accurate picture of the actual relative footprint of the buildings. This compares favourably to the 50% site coverage envisaged by Established Neighbourhood Zone (ENZ) DPF 3.1.

The addition for the library is set some 3.5m from the southern boundary, well in excess of the 900mm envisaged for ground floor side boundary setbacks under ENZ DPF 8.1. It is noted that the areas shown as “patio” are not shown as covered by any roof based on the elevations.

Works to the mansion are within the footprint of the existing building, and therefore its design and appearance are unchanged.

The works to the stables are mostly within the existing footprint of the building (and even retain the outhouse, though this is not required by the LMA). The key exception to this is the proposed bedroom/laundry wing, which would include a boundary wall on the western boundary. This wall would be 7.8m long and 3m high. This is consistent with the dimensions of boundary walls envisaged by ENZ DPF 7.1, but the wall does not meet this DPF as it is more than 45% of the length of the boundary of the stables allotment (which is only 15.2m, meaning this is 51.3%). The neighbouring allotment is much deeper, and the wall would only be 24% of that boundary. It is also noted that this abuts a boundary garage wall on the neighbouring property for part of this length. As such, its overall impact is considered reasonable. It is noted that there were no objections to this during public notification.

None of the dwelling additions would be notably visible from the street given the distances and obstructions involved. The additions are generally fairly simple structures which do not compete with the historic buildings for visual attention, which is generally appropriate.

Overall, the setbacks, footprint, design and appearance of the works is considered reasonable.

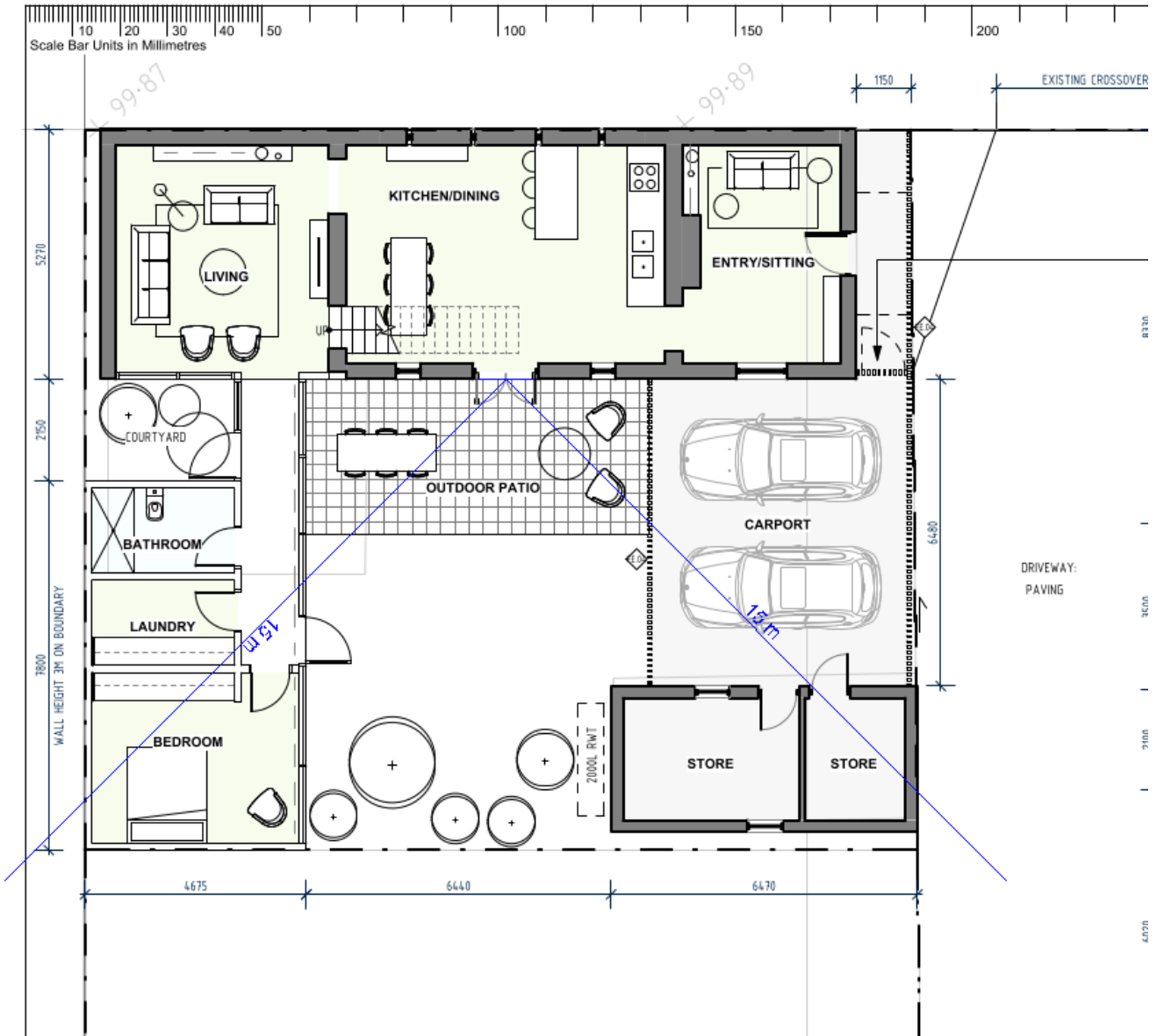
Privacy

Performance Outcome 10.1 of the Design in Urban Areas Module seeks for the following:
Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.

“Direct overlooking” is defined as:

In relation to direct overlooking from a window, is limited to an area that falls within a horizontal distance of 15 metres measured from the centre line of the overlooking window and not less than 45 degree angle from the plane of that wall containing the overlooking window.

The diagram below shows the direct overlooking cone from the upper floor window of the stables. Due to the format of the plans, this is shown on the ground floor floor plan of the stables, but reflects the position of the upper floor window.



As this shows, there would be only a minor amount of direct overlooking into the neighbouring property. There would be some internal direct overlooking into the vacant allotment, but this can be managed as part of the design of the dwelling on that allotment in future.

The rear windows of the mansion are more than 15m from the private open space or any windows of the stables. As such, it is not considered that there is any "direct overlooking" as defined by the Code, and no screening is required for these rear windows. The southern side windows of the mansion would have direct overlooking into the library allotment, and are 14.4m from the property boundary on the southern side of the library (i.e. the boundary that is external to the site). Given that these windows are both to bathrooms, it is likely that they would be frosted glass anyway, but a condition is recommended to require this regardless. The condition requires treatment rather than sill height, as the existing window frame should be maintained for heritage reasons.

The balcony on the Osmond Terrace frontage of the mansion does not need privacy screening as the longest side of it faces a public road that is more than 15m wide, in accordance with Design in Urban Areas DPF 10.2.

Traffic Impact, Access and Parking

All four allotments have the appropriate legal rights to use the access point from Gloucester Terrace, and the driveway area which would be shared between each dwelling. All three proposed dwellings

would have a carport from this shared driveway. The shared driveway is 6.2m wide; slightly narrower than the 6.2m generally used for laneways and the like, but it is considered that a vehicle can still reasonably conveniently turn around in a driveway of this width, allowing for forward-in-forward-out

movements from the site onto Gloucester Terrace, as well as for vehicles to pass each other.

The existing crossover shown on the plans is narrower than the driveway at approximately 4.1m. This is to accommodate the mature Queensland Box street tree. This tree was originally approved for removal as part of the land division application, but some 14 years later, it is considered that the tree's removal is not necessary to facilitate safe and convenient access to the site, and the tree does not need to be removed to facilitate the development.

In addition, the "library" dwelling shows the existing approved crossover and driveway which was approved under DA 23019832. The Stamped Plan from that application is included in the application documents for this application, to avoid doubt that this does not supersede or conflict with that existing approval.

Each dwelling is provided with two covered parking spaces, which exceeds the minimum requirements in Transport, Access and Parking Table 1.

Removal of a Significant Tree

Council's City Arborist has advised that the tree is "One of the *washingtonia* species, likely to be *filifera*". This tree is not native to the area, being native to California.

Regulated and Significant Tree Overlay PO 1.2 states:

Significant trees are retained where they:

- a) make an important contribution to the character or amenity of the local area*
- b) are indigenous to the local area and are listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species*
- c) represent an important habitat for native fauna*
- d) are part of a wildlife corridor of a remnant area of native vegetation*
- e) are important to the maintenance of biodiversity in the local environment and / or*
- f) form a notable visual element to the landscape of the local area.*

It is not considered to provide biodiversity value, and so the only reasons for retention would be related to its amenity or landscape contribution (parts a or f). While the tree is quite tall, its canopy is very limited (as is the case with almost all palm trees). Given located centrally to the site, views of the tree are often obscured by buildings or other mature trees. As such, it is not considered to make an important contribution to the character or amenity of the area, nor does form a notable visual element to the landscape of the local area.

From a more practical perspective, it would broadly be reasonable that the library building would become a dwelling, as contemplated by the LMA and consistent with the Zone as above. If the library were to become a dwelling, this would then mean that the tree was within 3m of the dwelling, and the tree would cease to be regulated anyway, meaning that it could be removed without requiring approval.

Landscaping

The site plan provided generally lacks detail relating to proposed landscaping, but based on the areas not shown as paved or covered, and using the same basis for site area as for site coverage, the proposal would result in an overall soft landscaping percentage of 32% (543/1675sqm). Compared to the 25% sought by Design in Urban Areas DPF 22.1, this is considered ample.

While the Urban Tree Canopy Overlay does apply to site, the proposal would retain existing mature trees on the mansion allotment. The Urban Tree Canopy Overlay condition contemplates

both retention and planting, and each site would have a suitable area to plant compliant trees should it be required. The condition is considered sufficient to ensure compliance with the relevant provisions of the Overlay.

Site Contamination

The applicant has provided a Preliminary Site Investigation Report which is provided in **Attachment 1**. This report does not identify any Class 1 or 2 activities on the site, and therefore no referral to the EPA is required under Practice Direction 14, and under Part 9 of the Code. As a result, the site is considered suitable for residential use.

CONCLUSION

The application seeks a change of use for three historic buildings which have previously been used as offices, including the internal alteration of these buildings and the construction of new additions. This would also result in fencing and landscaping work including the removal of a significant tree, and the construction of several carports.

The fundamental notion of a change of use to residential in a primarily residential zone, in a wholly residential locality, is supported. This is contemplated and supported by the Land Management Agreement which was entered into when the land was initially divided into four allotments.

While more could be done, the proposal does not diminish the heritage value of the mansion as a Local Heritage Place. The alterations and additions are sufficiently sensitive to the heritage value of all three buildings that it is supported. Those additions are modest in scale, and would not unreasonably impact the amenity of neighbouring properties, or the streetscape.

The removal of the significant tree is also supported, as it is not considered to meet the retention criteria.

Overall, the application is considered to sufficiently accord with the provisions of the Planning and Design Code to warrant Planning Consent.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 24019620, by Booth Real Estate is granted Planning Consent subject to the following reasons/conditions/reserved matters:

CONDITIONS

PLANNING CONSENT

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

Condition 2

Either:

1. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.

2. Where provided for by any relevant off-set scheme established under section 197 of the Planning, Development and Infrastructure Act 2016 (as at the date of lodgement of the application), payment of an amount calculated in accordance with the off-set scheme may be made in lieu of planting/retaining 1 or more trees as set out in the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). Payment must be made prior to the issue of development approval.

Condition 3

Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).

Condition 4

All stormwater from buildings and paved areas shall be disposed of in accordance with recognised engineering practices in a manner and with materials that does not result in the entry of water onto any adjoining property or any building, and does not affect the stability of any building and in all instances the stormwater drainage system shall be directly connected into either the adjacent street kerb & water table or a Council underground pipe drainage system.

Condition 5

Either:

- a) Replacement trees must be planted within 12 months of completion of the development at the following rates:
- i) if the development relates to a regulated tree—2 trees to replace a regulated tree; or
 - ii) if the development relates to a significant tree—3 trees to replace a significant tree.

Replacement trees cannot be within a species specified under regulation 3F(4)(b) of the Planning, Development and Infrastructure (General) Regulations 2017, and cannot be planted within 3 metres of an existing dwelling or in-ground swimming pool; or

- b) Payment of an amount calculated in accordance with the Planning, Development and Infrastructure (Fees, Charges and Contributions) Regulations 2019 be made into the relevant urban trees fund (or if an urban trees fund has not been established for the area where the relevant tree is situated, or the relevant authority is the Commission or an assessment panel appointment by the Minister or a joint planning board, the Planning and Development Fund) in lieu of planting 1 or more replacement trees. Payment must be made prior to the undertaking of development on the land.

Condition 6

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Assessment Manager or its delegate.

Condition 7

The upper floor windows to the southern elevation of the mansion shall be treated to a height of 1500mm above floor level, prior to occupation of the building, in a manner that restricts views being obtained by a person within the room to the reasonable satisfaction of the Assessment Manager and such treatment shall be maintained at all times.

ADVISORY NOTES

PLANNING CONSENT

Advisory Note 1

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 4

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

Advisory Note 5

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 6

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

Advisory Note 7

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 8

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s)

and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any

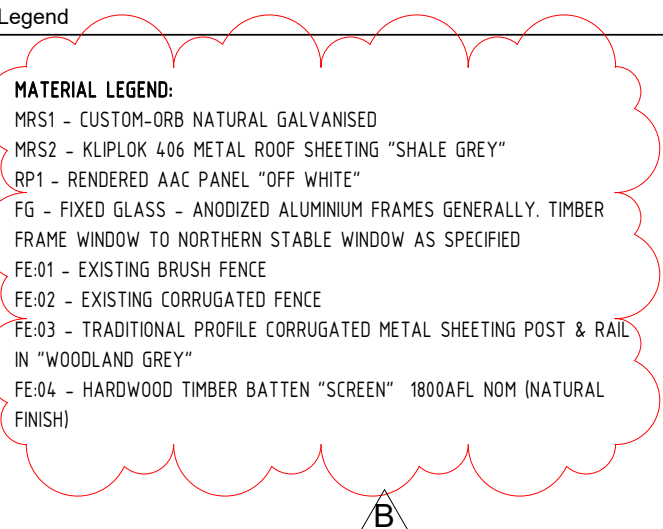
event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

Advisory Note 9

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

Advisory Note 10

The removal of the significant palm tree has been granted planning consent on the basis that that its removal accommodates the reasonable development of the land, being the remainder of the development herein granted planning consent. The removal of the significant palm tree may only be undertaken once full development approval is obtained and only if the whole development is undertaken. If the development herein granted planning consent is not intended to be undertaken in full, then the significant palm tree cannot be removed.



| | | | | |
|--------|----------------------|---|----------|----------|
| B A | 04.09.24 15.08.24 | PLANNING APPLICATION - RFI2 PLANNING APPLICATION - RF1 | BV DT | BV BV |
| Rev. | Date | Description | Ver. | Appr. |

GRIEVE
GILLET
ARCHITECTS

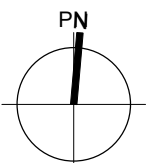
3 Pirie Street Adelaide
South Australia 5000
T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

ggarc.com.au

Project
81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title

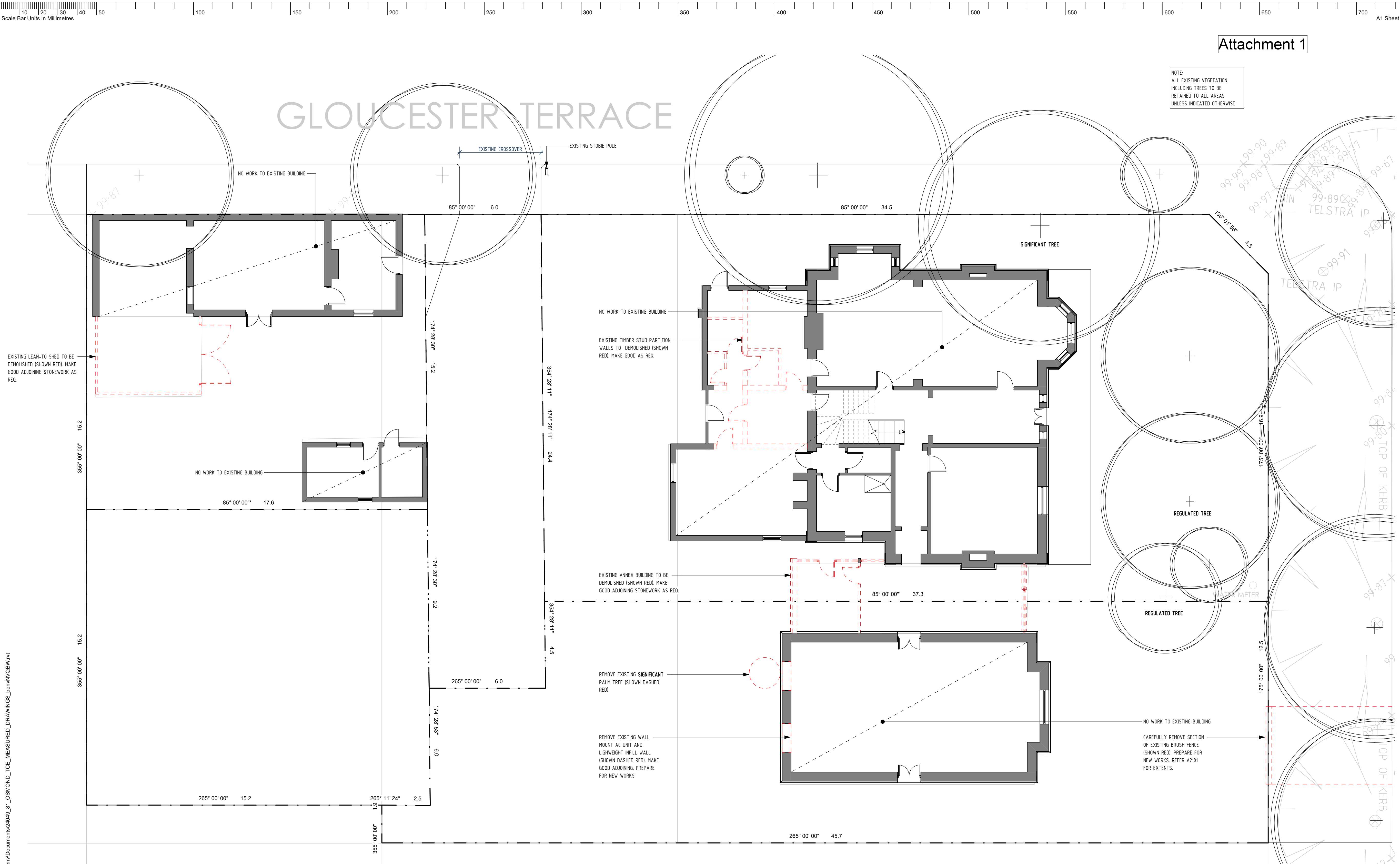
SITE & ALLOTMENT PLAN



Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1) As indicated

| | | |
|---------|-------------|-------|
| Job No. | Drawing No. | Issue |
| 24049 | DA01 | B |



Attachment 1

NOTE:
ALL EXISTING VEGETATION
INCLUDING TREES TO BE
RETAINED TO ALL AREAS
UNLESS INDICATED OTHERWISE

Legend

| | | | | |
|------|----------|----------------------------|------|-------|
| Rev. | Date | Description | Ver. | Appr. |
| A | 15.08.24 | PLANNING APPLICATION - RF1 | DT | BV |

Drawing Status

PLANNING APPLICATION

GRIEVE
GILLET
ARCHITECTS

243 Pirie Street Adelaide
South Australia 5000
T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

Project
81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title
EXISTING AND DEMOLITION
PLAN

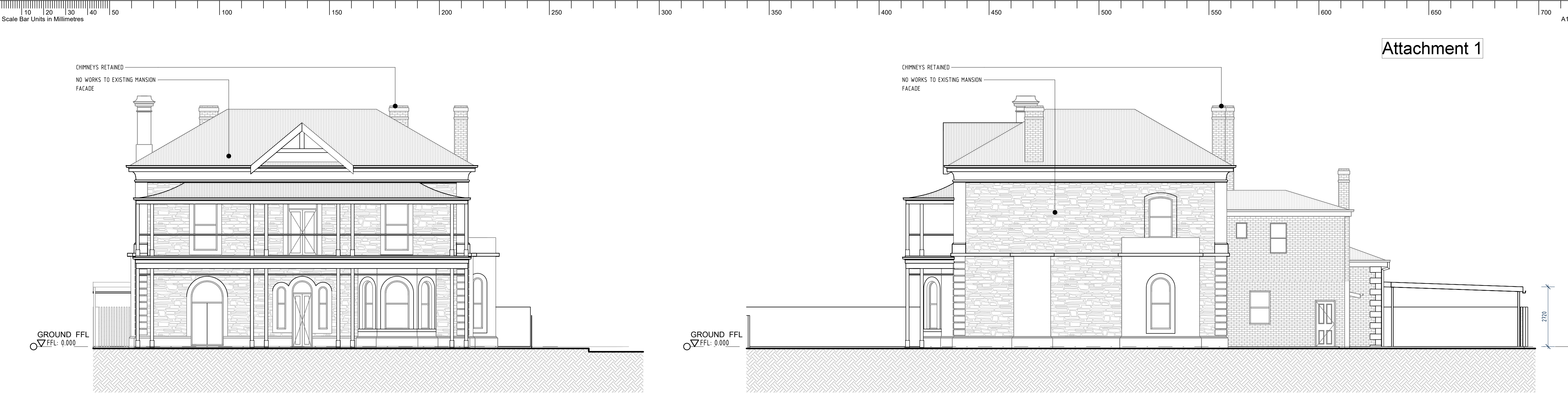
PN

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1)
1 : 100

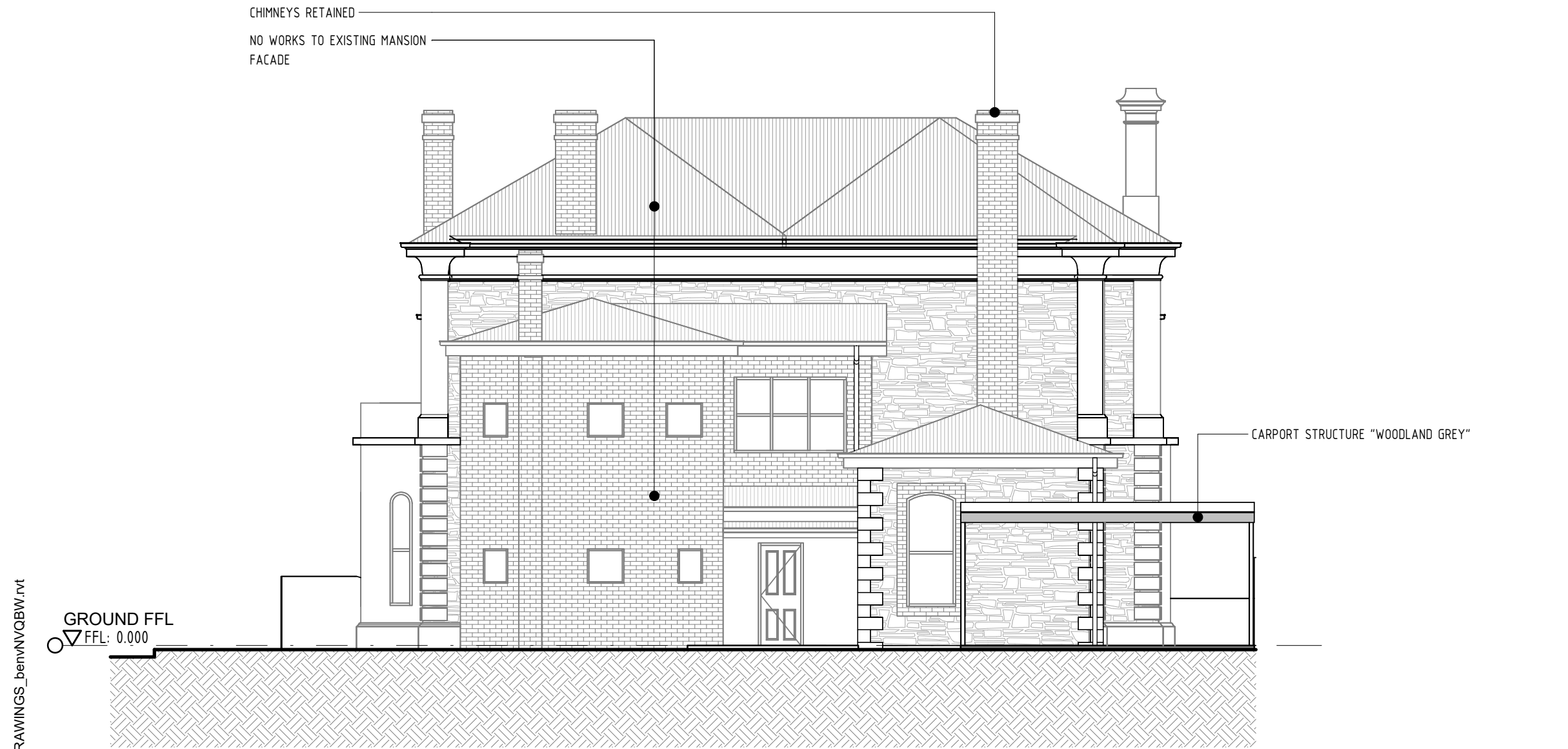
| | | |
|------------------|---------------------|------------|
| Job No. 24049 | Drawing No. DA02 | Issue A |
|------------------|---------------------|------------|





1 EAST ELEVATION MANSION
1:100

2 NORTH ELEVATION MANSION
1:100



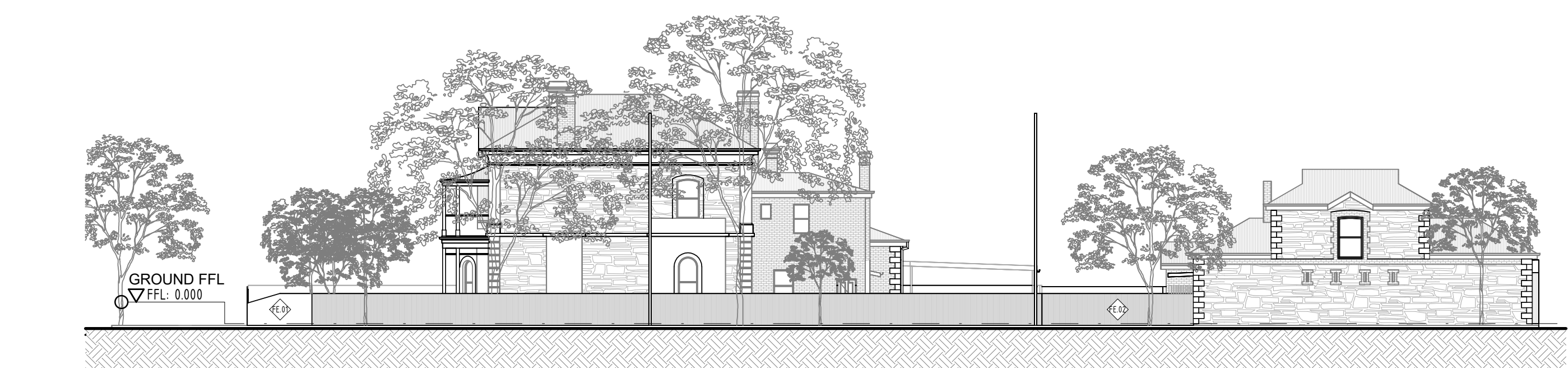
4 WEST ELEVATION MANSION
1:100



3 SOUTH ELEVATION MANSION
1:100



5 EAST STREETSCAPE
1:200



6 NORTH STREETSCAPE
1:200

Attachment 1

| Legend | |
|-------------------------|---|
| MATERIAL LEGEND: | |
| MRS1 | - CUSTOM-ORB NATURAL GALVANISED |
| MRS2 | - KLIPLOK 406 METAL ROOF SHEETING "SHALE GREY" |
| RP1 | - RENDERED AAC PANEL "OFF WHITE" |
| FG | - FIXED GLASS - ANODIZED ALUMINIUM FRAMES GENERALLY. TIMBER FRAME WINDOW TO NORTHERN STABLE WINDOW AS SPECIFIED |
| FE01 | - EXISTING BRUSH FENCE |
| FE02 | - EXISTING CORRUGATED FENCE |
| FE03 | - TRADITIONAL PROFILE CORRUGATED METAL SHEETING POST & RAIL IN "WOODLAND GREY" |
| FE04 | - HARDWOOD TIMBER BATTEN "SCREEN" 1800AFL NOM INATURAL FINISH |

| Rev. | Date | Description | Ver. | Appr. |
|----------------------|----------|-----------------------------|------|-------|
| B | 04.09.24 | PLANNING APPLICATION - RF12 | BV | BV |
| A | 15.08.24 | PLANNING APPLICATION - RF1 | DT | BV |
| Drawing Status | | | | |
| PLANNING APPLICATION | | | | |

**GRIEVE
GILLET
ARCHITECTS**

243 Pirie Street Adelaide
South Australia 5000

T +61 8232 3626
admin@ggarc.com.au

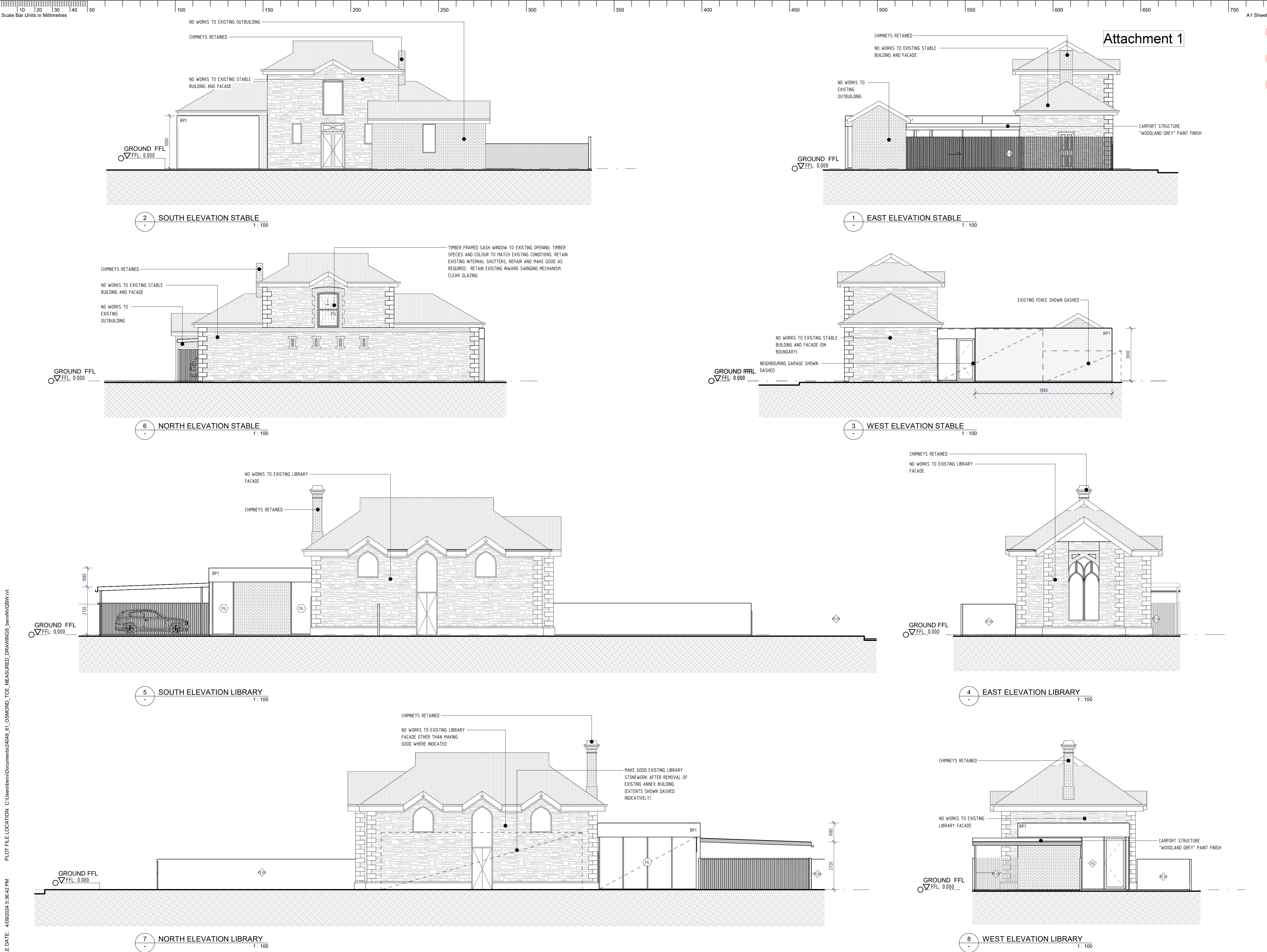
ggarc.com.au

Project
**81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067**

Drawing Title
**MANSION & STREETSCAPE
ELEVATIONS**

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

| Scale (at A1) | | |
|---------------|-------------|-------|
| As indicated | | |
| Job No. | Drawing No. | Issue |
| 24049 | DA04 | B |



Legend

MATERIAL LEGEND:

MRS1 - CUSTOM-ORB NATURAL GALVANISED

MRS2 - KLIPLOK 406 METAL ROOF SHEETING "SHALE GREY"

RP1 - RENDERED AAC PANEL "OFF WHITE"

FG - FIXED GLASS - ANODIZED ALUMINIUM FRAMES GENERALLY. TIMBER FRAME WINDOW TO NORTHERN STABLE WINDOW AS SPECIFIED

FE01 - EXISTING BRUSH FENCE

FE02 - EXISTING CORRUGATED FENCE

FE03 - TRADITIONAL PROFILE CORRUGATED METAL SHEETING POST & RAIL IN "WOODLAND GREY"

FE04 - HARDWOOD TIMBER BATTEN "SCREEN" 1800AFL NOM INATURAL FINISH

Rev.

Date

Description

Ver.

Appr.

| B | 04.09.24 | PLANNING APPLICATION - RF12 | BV | BV |
| A | 15.08.24 | PLANNING APPLICATION - RF1 | DT | BV |

Drawing Status

PLANNING APPLICATION

GRIEVE
GILLET
ARCHITECTS

243 Pirie Street Adelaide
South Australia 5000
T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

Project

81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title

STABLE & LIBRARY
ELEVATIONS

PN

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1)

1 : 100

Job No.

24049

Drawing No.

DA05

Issue

B

Page 5 of 162



Site contamination declaration form

Council area: The City of Norwood Payneham and St Peters

Regarding the land comprised in Certificate(s) of Title Register Book

CT6158/814 - D95918A101, CT6158/815 - D95918A102, CT6158/816 - D95918A103 + CT6158/817 - D95918A104 (*Volume/Title – Deposited Plan + Allotment*)

In the Area named Norwood Hundred of Adelaide commonly known as 81 Osmond Terrace, Norwood, South Australia (the **subject land**)

I Adrian Webber, a site contamination consultant / ~~site contamination auditor~~, certify the following details:

Part 1—Investigations

(a) I have relied on the following reports to complete this statement:

- Mud Environmental report '*Preliminary Site Investigation, 81 Osmond Terrace, Norwood, South Australia*,' dated 29 July 2024 included as **Attachment 1**.

(b) Investigations were conducted in accordance with the *National Environment Protection (Assessment of Site Contamination) Measure 1999*. (ASC NEPM)

Part 2—Site contamination unlikely to exist (for the purposes of planning consent)*

- (a) A potentially contaminating activity (as defined in the *State Planning Commission Practice Direction 14 (Site Contamination Assessment)*) is not known to have occurred on the subject land;
- (b) A class 1 activity (see the *State Planning Commission Practice Direction 14 (Site Contamination Assessment)*) is not known to have occurred on adjacent land.

Part 3—~~Site contamination exists or may exist*~~

(a) ~~site contamination exists or may exist on or below the surface of the land* as a result of a class 1 activity (including where a class 1 activity exists or previously existed on adjacent land), class 2 activity, class 3 activity (see the *State Planning Commission Practice Direction 14 (Site Contamination Assessment)*), or notification of site contamination of underground water (as shown on the South Australian Property and Planning Atlas) including where such a notification exists on adjacent land*;~~

(b) ~~the site contamination originated or is likely to have originated—~~

~~(i) on the subject land*—~~

~~(A) as a result of the following activities carried on there~~

~~(B) at the following location:~~

~~—— (ii) on adjacent land (i.e. class 1 activity or notification of site contamination of underground water (as shown on the South Australian Property and Planning Atlas))*—~~

~~(A) as a result of the following activities carried on there [insert details of the class 1 activity or activities];~~

~~(B) at the following location: [insert or attach a map showing the site(s) or possible site(s) of those class 1 activities]; and~~

~~(C) the subject site is impacted by a notification of site contamination of underground water originating from adjacent land: [insert or attach details of relevant investigations].~~

Part 4—Observations*

The subject land is located on land within a *[select any that apply]*—

- ☐ Groundwater prohibition area (as shown on the South Australian Property and Planning Atlas)
- ☐ ~~subject of a notation under section 103P of the *Environment Protection Act 1993* on the relevant title that a site contamination audit report has been prepared in respect of the land.~~

Date

29 July 2024

Signature of site contamination consultant ~~/site contamination auditor~~



Name of consultant's ~~or auditor's~~ company or business

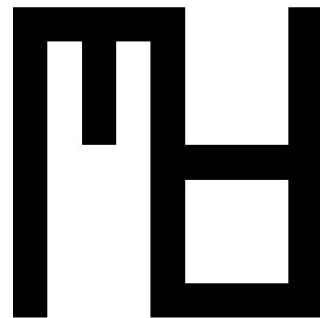
Mud Environmental

** Delete whichever is not applicable*

Note 1—Investigations found the existence of 'fill or soil importation' on-site (i.e. importation, to a premises of a business, of soil or other fill originating from a site at which another potentially contaminating activity has taken place pursuant Schedule 3 of the *Environment Protection Regulations 2009*). Fill or soil importation is not a potentially contaminating activity for the purposes of the *State Planning Commission Practice Direction: (Site Contamination Assessment)*, but remains a potentially contaminating activity under the *Environment Protection Regulations 2009*. The EPA's Industry Guideline on '*Construction environmental management plans (CEMP)*' provides assistance on meeting the obligations of the *Environment Protection Act 1993*. *

Note 2—It is an offence to provide false or misleading information on this Form. Maximum penalty: \$20 000 pursuant to section 217 of the *Planning, Development and Infrastructure Act 2016*.

This instrument is certified pursuant to section 52(1) of the *Planning, Development and Infrastructure Act 2016*



**MUD
ENVIRONMENTAL**

PRELIMINARY SITE INVESTIGATION

Proposed Residential Redevelopment

Booth Real Estate

81 Osmond Terrace, Norwood, South Australia

29 July 2024

Mud Ref.: ME-592.R1.0

DOCUMENT DISTRIBUTION

| Date | Rev | Recipient | No. of copies | |
|--------------|-----|---------------------------|---------------|-----------|
| | | | PDF | Hard copy |
| 29 July 2024 | 0 | Booth Real Estate | 1 | |
| | | Mud Environmental Pty Ltd | 1 (File) | |

File: \\Mud\Projects\ME-592 Booth Norwood\Report\Draft\ME-592.R1.0 Booth Norwood 290724.docx

© Document copyright of Mud Environmental Pty Ltd

This document is and shall remain the property of Mud Environmental Pty Ltd. Mud Environmental Pty Ltd accepts no liability of any kind for unauthorised use of the contents of this report. The document may only be used for the purposes for which it was commissioned and in accordance with the Limitations and Terms of Engagement for the commission.

Report approved by:



Adrian Webber
B.E. (CE) CEnvP SC
Director



Where issued as a hard copy report by Mud Environmental, the report is printed on 100% percent recycled card / paper and vegetable-based inks (soy and linseed oil)

TABLE OF CONTENTS

| | |
|---|----|
| EXECUTIVE SUMMARY..... | i |
| 1 INTRODUCTION..... | 1 |
| 1.1 What is a PSI? | 1 |
| 1.2 Objectives | 1 |
| 2 BACKGROUND | 2 |
| 2.1 Site Details..... | 2 |
| 2.2 Regulatory Framework..... | 2 |
| 2.3 Assessment, Remediation + Auditing of Site Contamination | 3 |
| 3 PRELIMINARY SITE INVESTIGATION | 5 |
| 3.1 Sources of Information..... | 5 |
| 3.2 Physical Environment..... | 6 |
| 3.2.1 Topography + Drainage, Geology, Hydrogeology | 6 |
| 3.2.2 Site Inspection..... | 7 |
| 3.2.3 Current Surrounding Land Uses | 8 |
| 3.3 Historical Site Ownership and Land Uses | 8 |
| 3.4 Business Directories and Historical Surrounding Land Uses | 8 |
| 3.5 Historical Aerial Photograph Review | 9 |
| 3.6 Historical Maps and Drawings..... | 9 |
| 3.7 Interviews..... | 9 |
| 3.8 SA EPA Information | 10 |
| 3.9 Air Services Australia + Department of Defence Records..... | 11 |
| 3.10 Waste Management & Liquid Fuel Facilities | 11 |
| 3.11 Heritage Records Search..... | 12 |
| 3.12 Previous Environmental Investigations | 13 |
| 3.13 Summary of Site History Post Colonisation..... | 13 |
| 4 POTENTIALLY CONTAMINATING ACTIVITIES..... | 13 |
| 5 CONCEPTUAL SITE MODEL | 15 |
| 5.1 Environmental Setting and Background Information | 15 |
| 5.2 Sources and Relevant Media | 15 |
| 5.3 Receptors..... | 16 |
| 5.4 Exposure Pathways | 16 |
| 5.5 Source, Pathway and Receptor Linkages | 16 |
| 6 CONCLUSIONS + RECOMMENDATIONS..... | 17 |
| 7 LIMITATIONS..... | 18 |

TABLES

| | |
|---|----|
| Table 1 – Site Details | 2 |
| Table 2 – Sources of Information | 5 |
| Table 3 – Topography + Drainage, Geology, Hydrogeology | 6 |
| Table 4 – Relevant Site Features | 7 |
| Table 5 – Site Ownership History | 8 |
| Table 6 – Historical Aerial Photographs | 9 |
| Table 7 – SA EPA Section 7 Searches + Public Register Information | 10 |
| Table 9 – Air Services Australia + Department of Defence Information | 11 |
| Table 10 – Waste Management & Liquid Fuel Facilities Information | 11 |
| Table 11 – Heritage Information | 12 |
| Table 12 – Potentially Contaminating Activities + Chemicals of Interest | 14 |

APPENDICES

| | | |
|------------|--|------|
| Appendix A | Figures..... | I |
| Appendix B | SAPPA information + Certificates of Title | II |
| Appendix C | SA EPA Honesty in Reporting Declaration | III |
| Appendix D | General Land Use + Planning Information | IV |
| Appendix E | Topographical + Geological + Soil Maps | V |
| Appendix F | Hydrology + Groundwater | VI |
| Appendix G | Site Photographs | VII |
| Appendix H | Historical Business Directories Information | VIII |
| Appendix I | Historical Aerial Photographs | IX |
| Appendix J | Historical Maps | X |
| Appendix K | SA EPA Search Information | XI |
| Appendix L | EPA + Air Services + Department of Defence Information | XII |
| Appendix M | Waste Management & Liquid Fuel Facilities Information | XIII |
| Appendix N | Local Council Records & Heritage Information | XIV |

HERITAGE SURVEY : KENSINGTON & NORWOOD

Item/Place: House, Library and Stables Survey No.: 81osmond
 Address: 81 Osmond Terrace, Norwood C.T. No.: 3935-45
 Present Status: Nominated for State Register Date: December 1994



Description: A large and attractive two-storey Victorian sandstone mansion with attached library and rear stables. The main house has a hipped corrugated iron roof with front feature gablet and front verandah. Notable for its attractive design, the cast-iron work on the front verandah, its front bay window and its relative intactness. The adjacent library has a hipped tiled roof with feature front gablet and attractive stone front window. The rear stables building is a one and two storey sandstone and red brick building with truncated hipped roofs and is notable for its high quality of construction. The complex appears in good condition.

History: Erected in 1891 for Thomas Gepp, MP and Mayor of Norwood 1888-1890.

Streetscape Contribution: This large building is one of the most important on Osmond Terrace. It is a key corner building which forms part of an attractive streetscape of large imposing 1880's-1890's houses. It contributes significantly to the street's Victorian character.

Significance: (Relevant Development Act Criteria (Section 23(4)): (a),(b),(d)): This building is an excellent example of a high quality Victorian villa. It is associated with the 1880's-1890's boom period in Norwood's development (4a). The building is indicative of one way of life found in Norwood at that time. Its substantial nature illustrates the social importance given to living on Osmond Tce.(4b). It is an attractive building (4d) which forms part of an important group of larger Victorian/Edwardian houses in Osmond Tce.

Development Implication: Retention and protection of the original form of the building, its setting and all associated original building fabric, as viewed from the road.

RECOMMENDATION: Local Heritage Place

Heritage survey (source: <https://data.environment.sa.gov.au> accessed 24/07/2024)

EXECUTIVE SUMMARY

Mud Environmental was engaged by Booth Real Estate to complete a Preliminary Site Investigation ('PSI', or site history) for 81 Osmond Terrace, Norwood, South Australia ('the site').

A PSI is a forensic study that considers multiple lines of evidence to build an understanding of the use of the site over time. Particular activities are identified that are considered to have the potential to cause site contamination, termed Potentially Contaminating Activities ('PCAs'). Chemical substances that are known to be associated with these activities are considered and documented.

The site was likely used for low-intensity agriculture during the initial colonisation period prior to the development of Norwood. By 1891, the main building, a sandstone mansion, along with a library and sandstone and redbrick stables, had been constructed on the site. There have been few changes to the layout of the site since 1891, apart from the construction of several outbuildings/extensions. The site was a residence for wealthy individuals until its purchase by the government in the 1970s (Queen Elizabeth). There is anecdotal evidence of the site's use as a boarding school and a creche, followed by offices and associated car parking until the site was vacated in recent years.

Potentially Contaminating Activities were identified on and adjacent to the site as follows:

1. Fill or soil importation (on-site)
2. Historical use of the site for broadacre agriculture (on the site and adjacent sites).
3. Service Station operation (237m offsite to the northwest)

Neither on-site activity is identified as a classed PCA in Site Contamination Assessment Practice Direction 14 (2021) version 4. The service station is considered Class 1; however, it is noted to be further than 60m away and is, therefore, not considered adjacent.

Any historical farming was unlikely to have been associated with chemical use as the site was developed for residential use by the late 1800s. Therefore, the likelihood of significant and widespread site contamination associated with these activities is considered to be low.

Fill importation is likely limited in use and potential chemical impacts are likely to be associated with more recent siteworks such as renovations, extensions, outbuilding construction, services trenches or carpark construction.

The service station is located several streets over and is unlikely to be in an upgradient groundwater flow direction based on the expected regional groundwater flow direction from west to east. The likelihood of contamination existing and impacting the subject site is considered to be low.

Based on experience and judgement there is a low likelihood of the identified PCAs causing significant and widespread contamination at the site in the context of the proposed future land use.

The following generic recommendations are made:

1. Any future site works, including the demolition of building structures, should be completed in accordance with standard work health and safety protocols relevant to the works being undertaken, noting that Asbestos Containing Materials (ACM) may exist at the site.
2. All soils to be removed from the site must be managed in accordance with relevant EPA guidelines and requirements of waste or recycling depots authorised by the EPA.
3. Any materials exhibiting visual or olfactory indicators of contamination, or if any potential ACMs are identified during redevelopment activities, these materials must be segregated and managed separately.
4. Should any unforeseen materials be identified during any soil handling and management activities, it is recommended that these soils are quarantined, and further advice is sought from an appropriately qualified environmental consultant.
5. Any soil imported to the site should be suitable for the application and sourced from a commercial supplier. Should waste soils be generated from another site to be imported to the site, then the soils should be classified by an appropriately qualified consultant as meeting the Waste Fill criteria presented in the Environment Protection Regulations, 2023.

This report and the opinions expressed above are subject to the limitations presented in **Section 7**. It is important that the reader make themselves aware of these limitations.

1 INTRODUCTION

Mud Environmental was engaged by Booth Real Estate to complete a Preliminary Site Investigation ('PSI', or site history) for 81 Osmond Terrace, Norwood, South Australia ('the site'). The site is proposed to be developed for residential land use and this PSI and an associated Site Contamination Declaration Form ('SCDF') have been prepared to support the development application.

The site location, site boundaries and site layout are shown in **Figure 1** in **Appendix A**. The South Australian Property and Planning Atlas ('SAPPA') Parcel report and certificates of title are presented in **Appendix B**. A copy of a signed 'Honesty in reporting declaration' required by SA EPA is included as **Appendix C**.

1.1 What is a PSI?

A PSI is a forensic study that considers multiple lines of evidence to build an understanding of the use of the site over time. Particular activities are identified that are considered to have the potential to cause site contamination, termed Potentially Contaminating Activities ('PCAs'). Chemical substances that are known to be associated with these activities are considered and documented.

It is important to note that a PSI is typically a qualitative assessment only (i.e. based on professional judgement and experience) and PCA's nominated in the *Environment Protection Regulations, 2023* and *Practice Direction 14 - Site Contamination Assessment 2021*. Often, once quantified through sampling and testing of relevant media (soils, groundwater, soil vapour, etc.), potential site contamination issues identified in the PSI do not result in actual site contamination. In this instance, qualitative risk rankings have been provided for the identified potentially contaminating activities to assess the likelihood of any potential contamination existing at the site.

1.2 Objectives

The objectives of this investigation were:

- To prepare a PSI in accordance with relevant guidelines that identifies current and historical activities at the site that could potentially cause site contamination issues that could adversely affect the proposed future land use; and
- To develop a preliminary Conceptual Site Model ('CSM') in accordance with the *National Environment Protection (Assessment of Site Contamination) Measure* (ASC NEPM).

2 BACKGROUND

2.1 Site Details

Site details are presented in **Table 1** below.

Table 1 – Site Details

| Category | Details |
|-----------------------|---|
| Street Address(s) | 81 Osmond Terrace and 18 Gloucester Terrace, Norwood, South Australia A copy of the SAPPA Parcel report and associated information that match the certificates of title below are provided in Appendix B |
| Certificates of Title | <i>Volume/Title – Deposited Plan + Allotment</i> <ul style="list-style-type: none"> CT6158/814 - D95918A101 CT6158/815 - D95918A102 CT6158/816 - D95918A103 CT6158/817 - D95918A104 In the Area named Norwood, Hundred of Adelaide Copies of the current and historical Certificates of Title are also included in Appendix B |
| Owner(s) | 81 Osmond Terrace Pty. Ltd. (ACN: 127 656 633) |
| Area of Site | Approximately 1,960m ² |
| Local Council | The City of Norwood Payneham and St Peters |
| Zoning and Land Use | The site is zoned 'Established Neighbourhood (Z1506) – EN'. Generalised land use information relating to the site and its surroundings is presented in Appendix D |
| Current Use | The site is currently vacant |
| Proposed Future Use | Residential land use. Preliminary drawings of the proposed redevelopment are included in Appendix A |

2.2 Regulatory Framework

In South Australia, site contamination assessment, management and remediation are governed by the *Environment Protection Act, 1993* and the *Environment Protection Regulations, 2023*. The *Environment Protection Act, 1993* defines site contamination as follows:

Section 5B – Site Contamination

- (1) *For the purposes of this Act, site contamination exists at a site if—*
 - (a) *chemical substances are present on or below the surface of the site in concentrations above the background concentrations (if any); and*
 - (b) *the chemical substances have, at least in part, come to be present there as a result of an activity at the site or elsewhere; and*
 - (c) *the presence of the chemical substances in those concentrations has resulted in—*
 - (i) *actual or potential harm to the health or safety of human beings that is not trivial, taking into account current or proposed land uses; or*
 - (ii) *actual or potential harm to water that is not trivial; or*
 - (iii) *other actual or potential environmental harm that is not trivial, taking into account current or proposed land uses.*
- (2) *For the purposes of this Act, environmental harm is caused by the presence of chemical substances—*
 - (a) *whether the harm is a direct or indirect result of the presence of the chemical substances; and*
 - (b) *whether the harm results from the presence of the chemical substances alone or the combined effects of the presence of the chemical substances and other factors.*
- (3) *For the purposes of this Act, site contamination does not exist at a site if circumstances of a kind prescribed by regulation apply to the site.*

A key aspect in the definition of site contamination, is whether chemical substances have been added to the site through an activity and whether these substances are above background concentrations. This is what the PSI and any subsequent targeted site investigations aim to assess (if completed). Where chemical substances have been determined to be present due to an activity above background concentrations, the targeted soil investigations determine whether these concentrations have resulted in actual or potential harm to the health or safety of human beings or the environment that is not trivial.

If site contamination is determined to be present at a site, the *Environment Protection Act of 1993* provides mechanisms to assign responsibility for the contamination and appropriate assessment and remediation / management of the site contamination.

The primary reference for assessing and managing site contamination in South Australia is the SA EPA (2018) '*Guidelines for the assessment and remediation of site contamination*', updated November 2019 (herein referred to as the 'GAR').

Other key documents referenced in the GAR include:

- EPA '*Guidelines for the site contamination audit system*' (2019).
- EPA '*Guideline for the assessment of background concentrations*' (2018).
- EPA '*Site contamination policy: certification of practitioners*' (2018).
- EPA '*Site contamination: regulatory and orphan site management framework*' (2017).
- EPA '*Site contamination: honesty in reporting*' (2008).
- *PFAS National Environmental Management Plan* (Version 2.0, updated January 2020).
- *National Environment Protection (Assessment of Site Contamination) Measure*, 1999 (as amended 2013 ('ASC NEPM')).

- NHMRC '*Australian Drinking Water Guidelines*' (2011, updated November 2018).
- WHO '*Guidelines for drinking water quality*' (updated 2022).
- NHMRC '*Guidelines for Managing Risks in Recreational Water*' (2008).
- ANZG '*Australian and New Zealand Guidelines for Fresh and Marine Water Quality*' (August 2018).

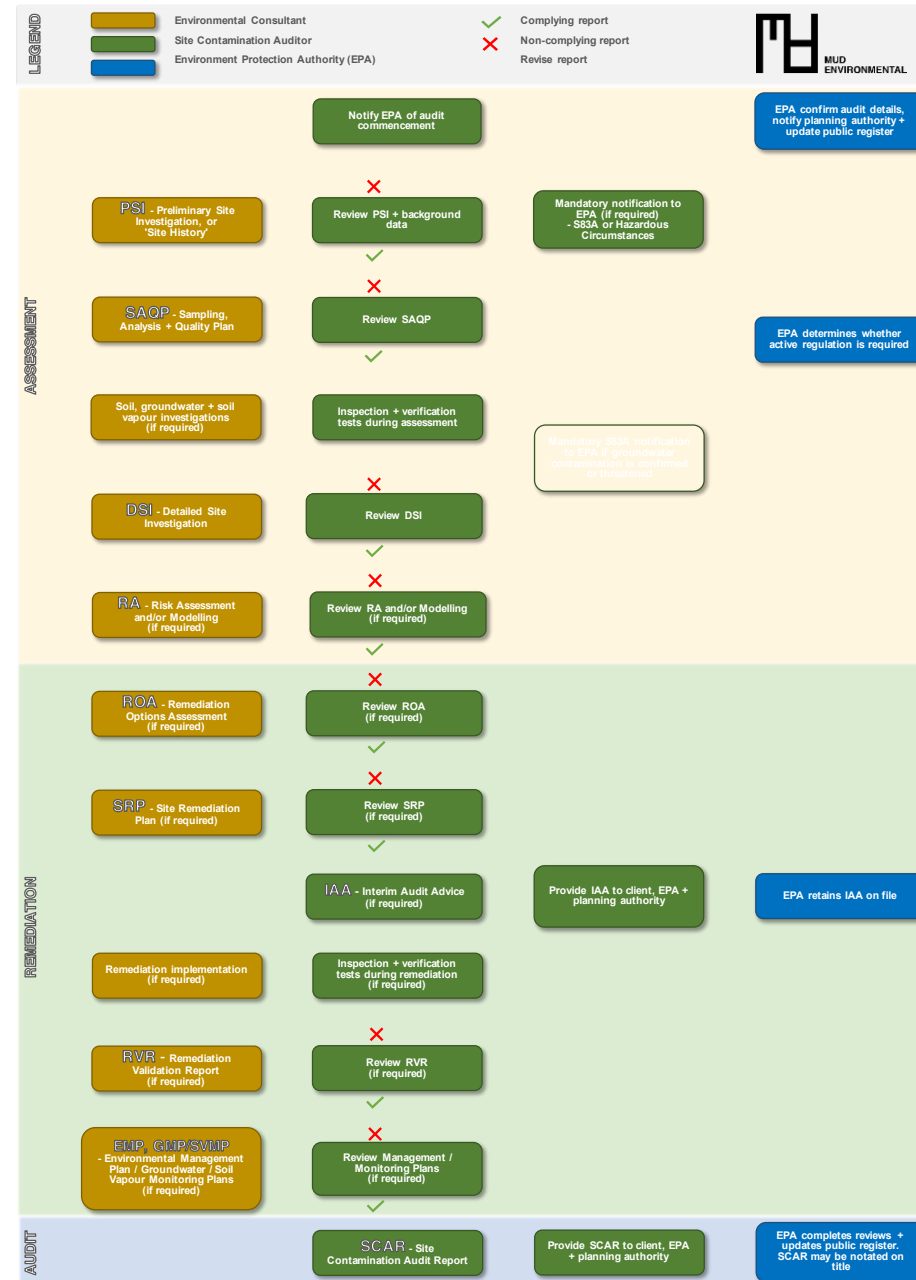
In addition, the following relevant South Australian publications, guidelines, practice direction, and Australian Standards were referenced in relation to potentially contaminating activities in preparation of this PSI report:

- Schedule 3 of the *Environment Protection Regulations, 2023*
- Australian Standard AS4482.1-2005 '*Guide to the investigation and sampling of sites with potentially contaminated soil, Part 1: Non-volatile and semi-volatile compounds*'
- Edwards J.W., Van Alphen M and Langley A. '*Identification and Assessment of Contaminated Land: Improving Site History Appraisal*' Contaminated Sites Monograph Series No 3, SA Health Commission, Adelaide (1994)
- Practice Direction 14 '*Site Contamination Assessment*,' Version 4, updated November 2023

2.3 Assessment, Remediation + Auditing of Site Contamination

The flowchart presented as **Chart 1** overleaf outlines a typical assessment, remediation and audit project in South Australia, including the various tasks completed by the assessment consultant, auditor and EPA. The PSI is fundamental in this process as it is the foundation upon which all intrusive investigations (if deemed warranted) should be built.

Chart 1 – Assessment, Remediation + Auditing of Site Contamination in South Australia



3 PRELIMINARY SITE INVESTIGATION

3.1 Sources of Information

The lines of evidence considered as part of this investigation are presented in **Table 2** below, along with how they add value to the considerations of source areas and activities.

Table 2 – Sources of Information

| Information | How is this information useful? | Section |
|--|---|---------|
| Physical Environment | Topography and drainage, geology and hydrogeology are important to understand how environmental contamination might behave. Existing site features, both on the site and surrounding the site, can provide an indication of potentially contaminating activities on the site and surrounds. | 3.2 |
| Historical Ownership (and Leases) | Historical ownership provides an understanding of which entities owned the land during certain historical activities. | 3.3 |
| Business Directories | Similar to ownership, business directories indicate business activities on the site and surrounding areas over time. | 3.4 |
| Historical Aerial Photographs | Historical aerial photographs indicate activities and land use over time. This visual information can be used to identify higher risk activities and inform targeted assessment works. | 3.5 |
| Historical maps | Identifies certain historical activities that may be useful. | 3.6 |
| Interviews | Interviews with persons having relevant historical knowledge of the site (where available) are often invaluable in identifying potentially contaminating activities. | 3.7 |
| EPA Information | Information from the EPA Public Register, Site Contamination Index, and Section 7 searches identifies confirmed contamination issues in the area. | 3.8 |
| Air Services Australia & Department of Defence | Information from Air Services Australia and Department of Defence websites identifies PFAS contamination in the area. | 3.9 |
| Waste Management & Liquid Fuel Facilities | Includes information relating to SA EPA approved container collection depots and information relating to nearby waste management and liquid fuel facility sites, all of which provide an understanding of potential contamination issues at the site and in surrounding areas. | 3.10 |
| Local Council Records & Heritage | Local Council information and records confirm development records, which may assist in understanding land use and layout over time. | 3.11 |
| Previous Environmental Investigations | Understanding the nature and extent of soil, groundwater and soil vapour impacts can be combined with other knowledge, such as groundwater flow direction, to determine the source zones. | 3.12 |

3.2 Physical Environment

3.2.1 Topography + Drainage, Geology, Hydrogeology

Information was obtained from various sources relating to the site's physical environment. This information is presented in **Table 3**.

Table 3 – Topography + Drainage, Geology, Hydrogeology

| Information | Source | Why is this useful? | Site specific information |
|-----------------------|--|---|---|
| Topography + Drainage | Site Inspection | Topography and drainage indicate the likely direction of surface and subsurface contamination movement, especially with respect to nearby human or ecological receptors. | The site is mostly sealed and slopes from east to west, with surface elevations around the site of approximately 60m AHD. Surface water is expected to discharge to the west of the site to an offsite swale. There is also a registered bore listed in government databases for the purpose of drainage however this was not located during the site inspection. Topographical features and land elevations for the site and surrounding areas are provided in Appendix E . |
| | Geoscience Australia 10m contours digital elevation models (Lotsearch Report) | | |
| Geology | Department for Energy and Mining Surface Geology and linear structures 1:100,000 maps (Lotsearch Report) | The geological conditions at a site help understand how contamination moves in the environment, particularly risks to groundwater associated with surface releases or contamination issues. | <p>The site area overlies the following geological unit:</p> <ul style="list-style-type: none"> ▪ Keswick Clay - Clay, smectite-rich, grey-green, with red or yellow mottling and rare sand lenses. ▪ Pooraka Formation - Clay, sand and carbonate earth, silty, with gravel lenses. <p>Site geological feature maps are provided in Appendix E.</p> |
| | Australian Bureau of Agricultural and Resource Economics and Sciences Atlas of Australian Soils Map (Lotsearch Report) | | |
| | SA Department for Environment and Water Soil types and soil salinity maps (Lotsearch Report) | | |
| | CSIRO Atlas of Australian Soils (Lotsearch Report) DEW Atlas of Australian Acid Sulphate Soils (Lotsearch Report) | | |
| Hydrogeology | Department of Environment and Water (DEW) Groundwater Aquifers (Lotsearch Report) | Groundwater aquifer and well information helps understand groundwater conditions and the nature of groundwater users in the area. This can help identify potential contamination migration pathways and potential human and ecological receptors. | <p>Porous, extensive aquifers of low to moderate productivity - onsite</p> <p>Porous, extensive highly productive aquifers - 550m to the west</p> |
| | Geoscience Australia Hydrogeology map of Australia (Lotsearch Report) | | |
| | DEW online WaterConnect Database (Lotsearch Report) | | |
| | | | <p>Sedimentary Rocks - basins include limestone, often cavernous, sandstone, sand shale and clay</p> <p>A search of licensed groundwater wells within a 2-kilometre radius of the site identified 735 registered wells at the locations shown on the plan included in Appendix F. This included one well located on the site listed for domestic purposes installed to in 1992 to a depth of 15m with a depth to water listed at 4.5 metres. There were 172 wells in the dataset whose purpose was listed as domestic.</p> <p>The registered wells reported standing water level (SWL) measurements ranging from 0 metres below ground level (mbgl) to 43 mbgl and total dissolved solids (TDS) concentrations ranging from 270 mg/L to 6,088mg/L. The SA EPA (2018) Guidelines for the Assessment and Remediation of Groundwater Contamination consider that groundwater with a TDS concentration of less than 1,200 mg/L is suitable as a potential drinking water supply. The results of the DEW WaterConnect database search are included in Appendix F along with the drillers' well construction report and plan for the onsite bore.</p> |

3.2.2 Site Inspection

An experienced representative from Mud Environmental completed an inspection of the site and its surroundings on 25 July 2024.

The site inspection incorporates checklists and visual / olfactory cues and is often the most useful line of evidence used to identify potential site contamination issues.

The current site layout is shown in **Figure 1** in **Appendix A**. Relevant surroundings land uses observed during the site inspection are summarised below, with specific site features documented in **Table 4** below, which includes all the aspects within the ASC NEPM relating to site inspections.

Photographs collected during the site inspection are included in **Appendix G**.

Table 4 – Relevant Site Features

| Feature | Description / Observations |
|--|--|
| Current uses of the site and surrounding land | The site is currently vacant. The surrounding land use appears residential in all directions. |
| Disturbed, discoloured, or stained soil | No staining or discoloured soil was observed. |
| Bare soil patches | The site surface was generally sealed by buildings, bitumen carparks and roads with gravel paths and landscaping surrounding the buildings. Some bare soils were observed along the western boundary. |
| Disturbed or distressed vegetation | No signs of disturbed or distressed vegetation. |
| Unusual odour | None |
| Quality of surface water | None |
| Sheens on water surfaces | N/A. |
| Site topography and surface water drainage | The site slopes from east to west away from Osmond Terrace. Surface water is expected to be collected by the stormwater system and discharge to Gloucester Terrace to the north. |
| Presence and type of groundwater bores on the site and adjacent landholdings | None found (noted that one operational domestic bore is listed on government databases). |
| Condition of groundwater bore headworks | N/A |

| Feature | Description / Observations |
|--|--|
| Measurement of groundwater (water table and/or piezometric) levels | N/A |
| Condition of buildings, concrete and bitumen floors and roads, etc. | Noting their age, the buildings and other structures appear in reasonable condition with no significant cracking, subsidence or depressions identified. |
| Building construction (slab-on-ground or other, presence or absence of crawl spaces and basements) | The historic buildings are of sandstone construction with brick and slab-on-ground extensions/outbuildings. A cellar with a concrete floor was located beneath the main building. |
| The means of heating (fuel type) and cooling buildings on the site | N/A |
| Presence or absence of bonded asbestos-containing materials (bonded ACM) on the ground surface | None identified. |
| Presence of stockpiles, containment areas, sumps, drains and waste disposal areas – operational and closed | No stockpiles, containment areas, sumps, drains or waste disposal areas were identified on-site. |
| Evidence of cut and fill activities | No significant evidence of cut and fill across the site. Changes to the natural ground levels would have occurred as part of the building construction and associated landscaping. |
| Presence of pits, ponds and lagoons | N/A |
| Presence and condition of chemical containers, holding tanks, bunds, etc. | None identified |
| Presence and condition of any underground storage tanks (USTs) and associated infrastructure | N/A |
| Underground structures that may be associated with sub-surface contamination | None identified |
| Condition of materials storage and handling facilities and any solid or liquid waste disposal areas | N/A |
| Evidence of on-site spillage of dangerous goods and/or off-site migration. | N/A |
| Utility services | The site was serviced with water, power, etc. No noteworthy inclusions - tanks, transformers, septic, etc.- were identified during the site inspection. |

3.2.3 Current Surrounding Land Uses

Surrounding land uses can result in contamination of the subject site. Based on the surrounding land uses noted from the site inspection and following a review of aerial photographs, the surrounding land use is residential in all directions.

The types of land use adjacent to the site are presented in **Figure 1** in **Appendix A**.

Further discussion on surrounding land uses and the potential for off-site contamination to impact the site is presented in **Section 4** below.

3.3 Historical Site Ownership and Land Uses

The historical site ownership can provide some information on owner-occupied businesses and is sometimes useful in understanding site uses over time. A summary of ownership history over time is presented in **Table 5**.

Table 5 – Site Ownership History

| CT Reference | Date issued | Owner | Occupation |
|---------------|-------------|--|----------------------|
| CT 6158 / 817 | 30/6/2015 | 81 OSMOND TERRACE PTY. LTD. (ACN: 127 656 633) | Holding company |
| CT 6158 / 816 | 30/6/2015 | | |
| CT 6082 / 266 | 18/8/2011 | | |
| CT 6082 / 256 | 18/8/2011 | | |
| CT 6082 / 264 | 18/8/2011 | | |
| CT 6002 / 111 | 29/01/2008 | | |
| CT 5787 / 217 | 05/07/2000 | Minister for Infrastructure | Government |
| CT 3935 / 45 | 17/5/1973 | The Queen | Government |
| CT 1046 / 135 | 15/2/1916 | 2x Private individuals (cancelled) | Merchants |
| CT 680 / 110 | 20/9/1901 | 1x Private individuals (cancelled) | Merchants |
| CT 680 / 53 | 11/01/1902 | 1x Private individuals (cancelled) | Merchants |
| CT 551 / 7 | 17/8/1891 | 2x Private individuals (cancelled) | Solicitor |
| | | | Merchant |
| CT 465 / 160 | 18/11/1884 | 3x Private individuals (cancelled) | Medical practitioner |
| | | | Not listed |
| | | | Solicitor |

The ownership history is a limited snapshot over the last hundred years. A comparison with the site ownership history and aerial photograph observations in **Section 3.5** found no evidence of industrial activities and any commercial activities appear limited to the potential use of the site as an office and carpark.

Copies of the current and historical certificates of title are included in **Appendix B**.

3.4 Business Directories and Historical Surrounding Land Uses

Surrounding businesses can sometimes have the potential for off-site contamination to impact the site.

A review of available Historical Business directory information was completed as part of the PSI, with a list of historical surrounding land uses identified as having the potential to cause site contamination summarised in **Appendix H**. No businesses were directly linked to the site and adjacent area, apart from one listing for an electrician. However, many businesses were tied to the adjacent Osmond Terrace, a main thoroughfare through Norwood. The historical aerial photography was checked for evidence of the historical road-matched businesses. None were identified. The likelihood of contamination existing and impacting the subject site from the historical businesses identified surrounding the site is considered low.

3.5 Historical Aerial Photograph Review

Aerial photographs are often one of the critical pieces of forensic information used to understand changes in land use over time and spatial considerations. Fifteen aerial photographs were obtained for the site between 1935 and 2024.

A summary of findings from the historical aerial photograph review is presented in **Table 6** below, with copies of the aerial photographs also included in **Appendix I**.

Table 6 – Historical Aerial Photographs

| Date | Site Use | Surrounding Land Use |
|------|--|---|
| 1935 | <ul style="list-style-type: none"> The photo is in black and white and shows poor resolution. The site is of a similar layout to the current day, with the house, library and stables identified in the heritage survey (included in Appendix N) all visible. There are several trees to the southwest, and the property appears to extend offsite to the south as it is connected by paths. | <ul style="list-style-type: none"> The site is surrounded appears to be surrounded by residential. The site connected to the south of the subject site has no buildings or structures, only paths are visible. |
| 1949 | <ul style="list-style-type: none"> The image is poor quality, and no interpretation has been attempted. | |
| 1959 | <ul style="list-style-type: none"> The image is poor quality, but the layout appears similar to 1935. | <ul style="list-style-type: none"> No changes were identified. |
| 1968 | <ul style="list-style-type: none"> The photo is in black and white and of average resolution. No changes identified. | <ul style="list-style-type: none"> Little change since 1935 |
| 1979 | <ul style="list-style-type: none"> This is the first photograph in colour and has an average resolution Little change since 1935 | <ul style="list-style-type: none"> No notable changes were identified. |
| 1986 | <ul style="list-style-type: none"> Apparent bare patch of soil to the south of the library. Several cars are parked in the current carpark. | <ul style="list-style-type: none"> Further construction has occurred on the development to the east. Roads have also been developed South of the site and to the west across Penfold Road. |
| 1997 | <ul style="list-style-type: none"> No major changes | <ul style="list-style-type: none"> Further infill residential housing has occurred to the south, east, west and northwest of the site. |
| 2002 | <ul style="list-style-type: none"> No major changes | <ul style="list-style-type: none"> Little change from 1997. |
| 2006 | <ul style="list-style-type: none"> No major changes | <ul style="list-style-type: none"> Little change from 2002. |
| 2009 | <ul style="list-style-type: none"> No major changes | <ul style="list-style-type: none"> Little change from 2005. |

| Date | Site Use | Surrounding Land Use |
|------|---|--|
| 2012 | <ul style="list-style-type: none"> Some trees were removed, and a fence was constructed on the southern boundary. | <ul style="list-style-type: none"> Houses have been built and under construction directly to the south. |
| 2018 | <ul style="list-style-type: none"> The main building now has solar panels, and there has been some landscaping undertaken. | <ul style="list-style-type: none"> The houses to the south appear complete. |
| 2021 | <ul style="list-style-type: none"> No major changes | <ul style="list-style-type: none"> No major changes |
| 2024 | <ul style="list-style-type: none"> No major changes – site appears vacant. | <ul style="list-style-type: none"> No major changes |

3.6 Historical Maps and Drawings

Three historical maps were obtained for the site dating between 1926 and 1982.

The area now covered by the site was not identified as having any specific site features or potentially contaminating activities in any of the historical maps reviewed.

Copies of the historical site maps are included in **Appendix J**.

3.7 Interviews

Anecdotal evidence relies upon people's recollections of historical events. Interviews are helpful as they can provide leads on activities and historical layouts that are important in piecing together the site's historical activities.

A brief interview was held with real estate agents Jack Booth and Charles Booth who had limited knowledge of the site's history but were able to provide the following information:

- The site was originally residential and was later used as a boarding house, creche and offices by Uniting Housing.
- The site is vacant, and a land management agreement is in place.

An internet search found a Unity Housing brochure from 2019 listing the site as Unity Housing's head office. The brochure included the following description of the business: 'Unity Housing provides safe, secure and sustainable accommodation for people on low incomes.' No potentially contaminating activities (PCAs) were identified through Unity Housing's use of the site.

3.8 SA EPA Information

Information obtained from EPA search records is presented in **Table 7** below.

Table 7 – SA EPA Section 7 Searches + Public Register Information

| Information | Source | Why this is useful | Site-specific information |
|------------------------------|--|---|---|
| EPA Section 7 | epasection7@epa.sa.gov.au | The Section 7 search is title-specific and provides particulars relating to environmental protection at the site, including licences, previous environmental assessments, etc. | <ul style="list-style-type: none"> There are no mortgages, charges or prescribed encumbrances affecting the site under the relevant sections of the <i>Environment Protection Act 1993</i>. The SA EPA does not hold a copy of a report on any environmental assessment of the land. No licenses have been issued and recorded on the Public Register under the repealed <i>South Australian Waste Management Commission Act 1979</i> or the repealed <i>Waste Management Act 1987</i> to operate waste depots or to produce prescribed wastes on the land. There is no record on the Public Register of any environmental authorisations in the form of a license to operate a waste depot or carry out an activity that produces listed waste on the land, either current or terminated. The former Waste Management Commission, under the repealed <i>Waste Management Act 1987</i>, did not have any record of waste being deposited on the site between 1 January 1983 and 30 April 1995. The EPA does not hold details on the Public Register of a notification under Section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit at the site. |
| EPA Site Contamination Index | http://www.epa.sa.gov.au/what_we_do/public_register_directory/site_contamination_index (Lotsearch Report) | The Site Contamination Index provides information on S83A notifications of groundwater contamination and audit notifications / terminations and can identify contaminated sites in the vicinity of the site. | The site and adjacent land was not listed on the EPA site contamination index. The nearest sites listed from the 1km search included a Section 83A (groundwater contamination notification) for a petrol station 237m to the north west of the site and audit notifications for a site 243m to the east. |
| EPA Public Register | https://www.epa.sa.gov.au/our_work/public_register (Lotsearch Report) | Legislation requires the EPA to have a public register, and to make information available for the public to inspect relating to: environmental authorisations; new applications; development authorisation referrals; prosecutions and civil penalties; site contamination; environmental protection orders | <p>No environment protection or clean-up orders registered on the SA EPA Public Register are on-site or within a one-kilometre radius of the site excluding one noise related order on a site approximately 600 to the north east.</p> <p>There were no EPA authorisations or applications relating to the site, with the nearest license for the Petrol Station identified previously 237m to the north west.</p> <p>There were no contamination assessment areas, EPA PFAS site investigations, or groundwater prohibition areas listed in the area surrounding the site.</p> <p>The review of EPA information obtained did not identify any red flags, and no reports, licenses, or other additional information were requested from the EPA as part of this preliminary investigation.</p> |

Copies of the SA EPA records summarised in **Table 7** above are provided in **Appendix K** and **Appendix L**.

3.9 Air Services Australia + Department of Defence Records

Information obtained in relation to Air Services Australia and Department of Defence records is presented in **Table 8** below.

Table 8 – Air Services Australia + Department of Defence Information

| Information | Source | Why this is useful | Site-specific information |
|--|--|---|--|
| Air Services Australia National PFAS Management Program Data + Defence PFAS Investigation & Management Program, Defence site and Unexploded ordnance | http://www.airservicesaustralia.com/environment/national-pfas-management-program/ + http://www.defence.gov.au/environment/pfas/ ± http://www.defence.gov.au/id/derp/Default.asp | To determine if any sites are being investigated or managed by Air Services Australia or the Department of Defence for PFAS contamination or are listed for contamination or as being defence-controlled areas or containing potentially unexploded ordnance within a 2km radius of the site. | The site is not within or adjacent to a site linked to an Air Services Australia or Department of Defence PFAS Investigation or Management. The site is not listed as being a defence-controlled area, as assessed as part of the defence 3-year regional contamination investigation program or as having the potential presence of unexploded ordnance. |

Copies of Air Services Australia and Department of Defence information are included in **Appendix L**.

3.10 Waste Management & Liquid Fuel Facilities

Information relating to nearby waste management facilities and bulk liquid fuel facilities is presented in **Table 9**.

Table 9 – Waste Management & Liquid Fuel Facilities Information

| Information | Source | Why this is useful | Site-specific information |
|--|---|--|--|
| National Waste Management Site Database | http://www.environment.gov.au/node/12996 | Information relating to SA EPA-approved container collection depots and nearby waste management and liquid fuel facility sites provides an understanding of potential contamination issues at the site and in surrounding areas. | <ul style="list-style-type: none"> The site is not within a 1km buffer or adjacent to a site on the National Waste Management Database. |
| EPA Approved Container Collection Depots | SA EPA (Lotsearch) | | <ul style="list-style-type: none"> The site is not within a 1km buffer or adjacent to an EPA Approved Container Collection Depot. |
| National Liquid Fuel Facilities | http://www.environment.gov.au/node/12996 | | <ul style="list-style-type: none"> The nearest site listed as a national liquid fuel facility was the petrol station identified previously, 237m to the north-west. |

The search records obtained in relation to waste management and liquid fuel facilities are included in **Appendix M**.

3.11 Heritage Records Search

Heritage record information is presented in **Table 10** below. This information often includes documentation of the site's development over time. It is useful in understanding changes to the built form over time as well as any protected Heritage Areas within or surrounding the site.

Table 10 – Heritage Information

| Information | Source | Why this is useful | Site specific information |
|------------------|--|---|---|
| Heritage Records | DEWNR Australian Government & South Australian Government Departments of the Environment & Energy (Lotsearch Report) | Heritage records can include plans, photographs, and other historical information that is useful for understanding the layout of the site and previous activities undertaken. | The land is heritage listed and not listed as aboriginal land. A copy of a heritage survey from 1995 was obtained which listed the item/place as a house, library and stables which was erected in 1891 for Thomas Gepp, MP and Major of Norwood 1888-1890. Source: https://data.environment.sa.gov.au/Pages/default.aspx accessed 24/07/2024. |

Heritage search records obtained for the site are provided in **Appendix N**.

3.12 Previous Environmental Investigations

No previous environmental investigation reports on the site were reviewed or known to exist as part of this preliminary site investigation.

3.13 Summary of Site History Post Colonisation

The site was likely used for low-intensity agriculture during the initial colonisation period prior to the development of Norwood. By 1891, the main building, a sandstone mansion, along with a library and sandstone and redbrick stables, had been constructed on the site. There have been few changes to the layout of the site since 1891, apart from the construction of several outbuildings/extensions. The site was a residence for wealthy individuals until its purchase by the government in the 1970s (Queen Elizabeth). There is anecdotal evidence of the site's use as a boarding school and a creche, followed by offices and associated car parking until the site was vacated in recent years.

4 POTENTIALLY CONTAMINATING ACTIVITIES

Activities identified through the research presented in the PSI that are considered to have the potential to cause site contamination are termed Potentially Contaminating Activities ('PCAs'). Some of these activities are defined in the *Environment Protection Regulations, 2023*, while others are based on professional judgement and experience in assessing site contamination in South Australia.

Table 11 overleaf presents a summary of the PCAs identified both on-site and off-site. The chemical substances associated with each PCA are primarily based on AS4482.1-2005 and the ASC NEPM, 1999, as amended in 2013. Also presented is the associated PCA identified in the *Environment Protection Regulations, 2023*, and the evidence relied upon in identifying the activity. A qualitative risk ranking on the likelihood of contamination having occurred has been given to each activity.

In March 2021, a new planning scheme was introduced in South Australia that incorporates site contamination. **Table 11** also includes the 'Class' of each activity as defined in *Practice Direction 14 - Site Contamination Assessment 2021 Version 4* issued by the State Planning Commission under Sections 42 and 127 of the *Planning, Development and Infrastructure Act, 2016*.

Table 11 – Potentially Contaminating Activities + Chemicals of Interest

| PCA # | Activity | PCA in EP Regs? | Class in PD14 | Location | Evidence | Chemical Substances | Likelihood | Comments on Likelihood |
|----------|-----------------------------------|-----------------|---------------|---|--|--|------------|---|
| On-site | | | | | | | | |
| S_1 | Broadacre agricultural activities | No* | N/A | Whole site | The wider area was used for farming during the early settlement of the area in the 1800s. | <ul style="list-style-type: none">metalsorganochlorine pesticides (OCP)herbicides (phenoxy acid, triazine)fertilisers (nitrogen, phosphorous, potassium, sulphate) | Low | <p>No evidence was identified to suggest that intensive farming practices (application of pesticides and fertilisers on a frequent broad scale) or other contaminating activities such as wastewater irrigation, the burial of animals or waste or other matter occurred at the site.</p> <p>Any historical farming was unlikely to have been associated with chemical use as the site was developed for residential use by the late 1800s.</p> <p>Therefore, the likelihood of significant and widespread site contamination associated with these activities is considered to be low.</p> |
| S_2 | Fill or soil importation | No** | N/A | Beneath sealed surfaces and service trenches as well as paths | Site inspection and aerial photographs | <ul style="list-style-type: none">metalspolycyclic aromatic hydrocarbons (PAHs)total petroleum hydrocarbons (TPH)benzene, toluene, ethylbenzene, xylenesAsbestos containing material (ACM) | Low | <p>Fill importation is likely limited in use and potential chemical impacts are likely to be associated with more recent siteworks such as renovations, extensions, outbuilding construction, services trenches or carpark construction.</p> |
| Off-site | | | | | | | | |
| O_1 | Broadacre agricultural activities | No* | No | Surrounding properties | Limited to general understanding of the development of Adelaide. Its considered likely that the area was used for farming during the early settlement of Adelaide and surrounding towns. | <ul style="list-style-type: none">metalsorganochlorine pesticides (OCP)herbicides (phenoxy acid, triazine)fertilisers (nitrogen, phosphorous, potassium, sulphate) | Low | <p>No evidence was identified to suggest that intensive farming practices (application of pesticides and fertilisers on a frequent broad scale) or other contaminating activities such as wastewater irrigation, the burial of animals or waste or other matter occurred at the site.</p> <p>Any farming during this time was unlikely to have been associated with chemical use.</p> <p>Therefore, the likelihood of significant and widespread site contamination associated with these activities is considered to be low.</p> |
| O_2 | Service stations | Yes | Class 1 | 237m north west | EPA records including a Section 83a (groundwater contamination notification) | <ul style="list-style-type: none">Total petroleum hydrocarbons (TPH)Benzene, Toluene, Ethyl benzene and Xylenes (BTEX)Fuel additive s (MTBE) | Low | <p>The service station is located several streets over and is unlikely to be in an upgradient groundwater flow direction based on the expected regional groundwater flow direction from west to east. The likelihood of contamination existing and impacting the subject site is considered to be low.</p> |

Notes:
* Agricultural activities are specifically excluded in the EP Regulations for routine spraying, in accordance with manufacturers' instructions, of pesticides used in broad-acre farming. This exclusion is considered to apply to the subject site.
**Fill or soil importation – This is only a PCA in EP Regulations where importation, to premises of a business, of soil or other fill originating from a site at which another potentially contaminating activity has taken place.

5 CONCEPTUAL SITE MODEL

A Conceptual Site Model (CSM) uses available information to determine the presence of plausible complete exposure pathways from contamination sources to receptors such as humans or the environment.

For an identifiable risk to exist, an exposure pathway must be present which requires each of the following to be identified: presence of substances that may cause harm (source); presence of a receptor which may be harmed (receptor); and existence of a means of exposing a receptor to the source (exposure route).

As outlined in the ASC NEPM, a detailed Conceptual Site Model (CSM) should include information on:

1. **Sources** - known and potential sources of contamination and contaminants of concern including the mechanism(s) of contamination (e.g. 'top down' spill or sub-surface release from corroded tank or pipe), including the nature and extent of site contamination;
2. **Relevant media** - potentially affected media (soil, sediment, groundwater, surface water, indoor and ambient air);
3. **Relevant receptors** - human and ecological receptors; and
4. **Exposure pathways** - potential and complete exposure pathways to relevant receptors.

A CSM is generally a written description of the site accompanied by a schematic, graphical interpretation that depicts what is known or has been inferred about the site.

This section presents a written summary of the preliminary CSM that relates to the current condition of the site based on the information obtained and documented within this PSI (this report).

5.1 Environmental Setting and Background Information

The site appears to have been cleared and redeveloped for residential use with possible broadacre low-intensity farming prior to the late 1800s, when a sandstone mansion, library, and sandstone and redbrick stables were constructed on the site. There were likely some minor changes to site levels associated with the development of the site; however, the natural fall from east to west is largely maintained across the site.

5.2 Sources and Relevant Media

The following potential sources of site contamination have been identified on and adjacent the site:

1. Fill or soil importation (onsite)
2. Historical use of the site for broadacre agriculture (on the site and adjacent sites).
3. Service station operation (237m offsite to the north west)

Neither on-site activity is identified as a classed PCA in Site Contamination Assessment Practice Direction 14 (2021) version 4. The service station is considered Class 1; however, it is noted to be further than 60m away and is, therefore, not considered adjacent.

The above potential sources of contamination and a summary of other off-site PCA's are discussed in more detail in **Table 11** above.

5.3 Receptors

The potential human and ecological receptors identified for the site are described below.

Human Receptors

- Future sensitive users (residents including children);
- Construction, maintenance and utility service workers;
- Recreational users of public open space areas; and
- Off-site groundwater users.

Ecological Receptors

- Native flora and fauna that would inhabit the site in the absence of chemical contamination e.g. flowering plants, ferns and terrestrial, subterranean or arboreal fauna.
- Introduced flora and fauna - are not native to Australia but which are desired to inhabit the site e.g. wildlife, domestic animals, flowering plants, conifers and ferns;
- Transitory or permanent wildlife - lives permanently or spends part of their life cycle on the site in question (e.g. the site may be part of a bird's territory);
- Air – possible air impacts from identified ACM and soil contaminants including volatile contaminants.
- Groundwater – from leaching or migration of contaminants from soil to groundwater.
- Surface water receptors.

5.4 Exposure Pathways

The potential exposure pathways for the receptors identified for the site are described below.

Human Receptor Pathways

- Direct dermal contact with, or ingestion of contaminated soil, or inhalation of dust;
- Consumption of garden produce grown in contaminated soils;
- Extraction of groundwater for domestic use or irrigation resulting in ingestion or dermal contact; and
- Inhalation of volatile organic compounds emanating from impacted soil, groundwater or soil vapour (if present), or inhalation of asbestos fibres (if present).

Ecological Receptor Pathways

- Airborne particles from winds and unsealed surfaces or volatilisation;
- Direct contact with contaminated soil or groundwater;
- Migration of contaminated groundwater;
- Impacted surface water run-off; and
- Extraction and use of contaminated groundwater for irrigation.

5.5 Source, Pathway and Receptor Linkages

Until site contamination is confirmed to exist on the site, it is premature to discuss source, pathway, and receptor linkages.

6 CONCLUSIONS + RECOMMENDATIONS

The site was likely used for low-intensity agriculture during the initial colonisation period prior to the development of Norwood. By 1891, the main building, a sandstone mansion, along with a library and sandstone and redbrick stables, had been constructed on the site. There have been few changes to the layout of the site since 1891, apart from the construction of several outbuildings/extensions. The site was a residence for wealthy individuals until its purchase by the government in the 1970s (Queen Elizabeth). There is anecdotal evidence of the site's use as a boarding school and a creche, followed by offices and associated car parking until the site was vacated in recent years.

Potentially Contaminating Activities were identified on and adjacent to the site as follows:

1. Fill or soil importation (on-site)
2. Historical use of the site for broadacre agriculture (on the site and adjacent sites).
3. Service Station operation (237m offsite to the northwest)

Neither on-site activity is identified as a classed PCA in Site Contamination Assessment Practice Direction 14 (2021) version 4. The service station is considered Class 1; however, it is noted to be further than 60m away and is, therefore, not considered adjacent.

Any historical farming was unlikely to have been associated with chemical use as the site was developed for residential use by the late 1800s. Therefore, the likelihood of significant and widespread site contamination associated with these activities is considered to be low.

Fill importation is likely limited in use and potential chemical impacts are likely to be associated with more recent siteworks such as renovations, extensions, outbuilding construction, services trenches or carpark construction.

The service station is located several streets over and is unlikely to be in an upgradient groundwater flow direction based on the expected regional groundwater flow direction from west to east. The likelihood of contamination existing and impacting the subject site is considered to be low.

Based on experience and judgement there is a low likelihood of the identified PCAs causing significant and widespread contamination at the site in the context of the proposed future land use.

The following generic recommendations are made:

1. Any future site works, including the demolition of building structures, should be completed in accordance with standard work health and safety protocols relevant to the works being undertaken, noting that Asbestos Containing Materials (ACM) may exist at the site.
2. All soils to be removed from the site must be managed in accordance with relevant EPA guidelines and requirements of waste or recycling depots authorised by the EPA.
3. Any materials exhibiting visual or olfactory indicators of contamination, or if any potential ACMs are identified during redevelopment activities, these materials must be segregated and managed separately.
4. Should any unforeseen materials be identified during any soil handling and management activities, it is recommended that these soils are quarantined, and further advice is sought from an appropriately qualified environmental consultant.
5. Any soil imported to the site should be suitable for the application and sourced from a commercial supplier. Should waste soils be generated from another site to be imported to the site, then the soils should be classified by an appropriately qualified consultant as meeting the Waste Fill criteria presented in the Environment Protection Regulations, 2023.

This report and the opinions expressed above are subject to the limitations presented in **Section 7**. It is important that the reader make themselves aware of these limitations.

7 LIMITATIONS

Scope of Services

This Preliminary Site Investigation ('the report') has been prepared in accordance with the scope of services set out in the contract, or as otherwise agreed, between Booth Real Estate and Mud Environmental ('scope of services'). In some circumstances, the scope of services may have been limited by a range of factors such as time, budget, access and/or site disturbance constraints.

Reliance on Data

In preparing the report, Mud Environmental has relied upon data, surveys, analyses, designs, plans and other information provided by Booth Real Estate and other individuals and organisations, most of which are referred to in the report ('the data'). Except as otherwise stated in the report, Mud Environmental has not verified the accuracy or completeness of the data. To the extent that the statements, opinions, facts, information, conclusions and/or recommendations in the report ('conclusions') are based in whole or part on the data, those conclusions are contingent upon the accuracy and completeness of the data. Mud Environmental will not be liable in relation to incorrect conclusions should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to Mud Environmental.

Desktop Environmental Conclusions

In accordance with the scope of services, Mud Environmental has relied upon the data and has conducted desktop site history research in the preparation of the report. The nature and extent of investigation conducted is described in the report.

No desktop investigation, no matter how thorough, can eliminate the possibility that not all potentially contaminating activities were identified, or provide sufficient confidence to determine the suitability of a site for a given use. The conclusions are based only upon the data and information available to Mud Environmental at the time of preparing this report.

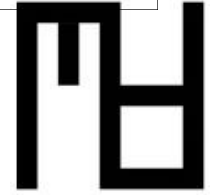
Within the limitations imposed by the scope of services, the investigation and preparation of this report have been undertaken and performed in a professional manner, in accordance with generally accepted practices and using a degree of skill and care ordinarily exercised by reputable environmental consultants under similar circumstances. No other warranty, expressed or implied, is made.

Report for Benefit of Booth Real Estate

The report has been prepared for the benefit of Booth Real Estate and no other party. Mud Environmental assumes no responsibility and will not be liable to any other person or organisation for or in relation to any matter dealt with or conclusions expressed in the report, or for any loss or damage suffered by any other person or organisation arising from matters dealt with or conclusions expressed in the report (including without limitation matters arising from any negligent act or omission of Mud Environmental or for any loss or damage suffered by any other party relying upon the matters dealt with or conclusions expressed in the report). Other parties should not rely upon the report or the accuracy or completeness of any conclusions and should make their own enquiries and obtain independent advice in relation to such matters.

Other Limitations

Mud Environmental will not be liable to update or revise the report to take into account any events or emergent circumstances or facts occurring or becoming apparent after the date of the report.



Appendix A

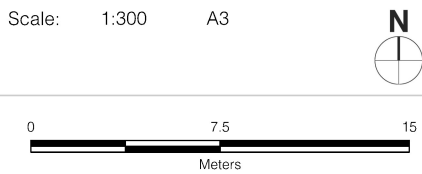
Figures



| | |
|-----------|--|
| Project: | Preliminary Site Investigation 81 Osmond Terrace Norwood, SA |
| Client: | Booth Real Estate |
| Mud Ref.: | ME-592 |
| Revision: | 1 |

FIGURE 1

SITE LOCATION PLAN



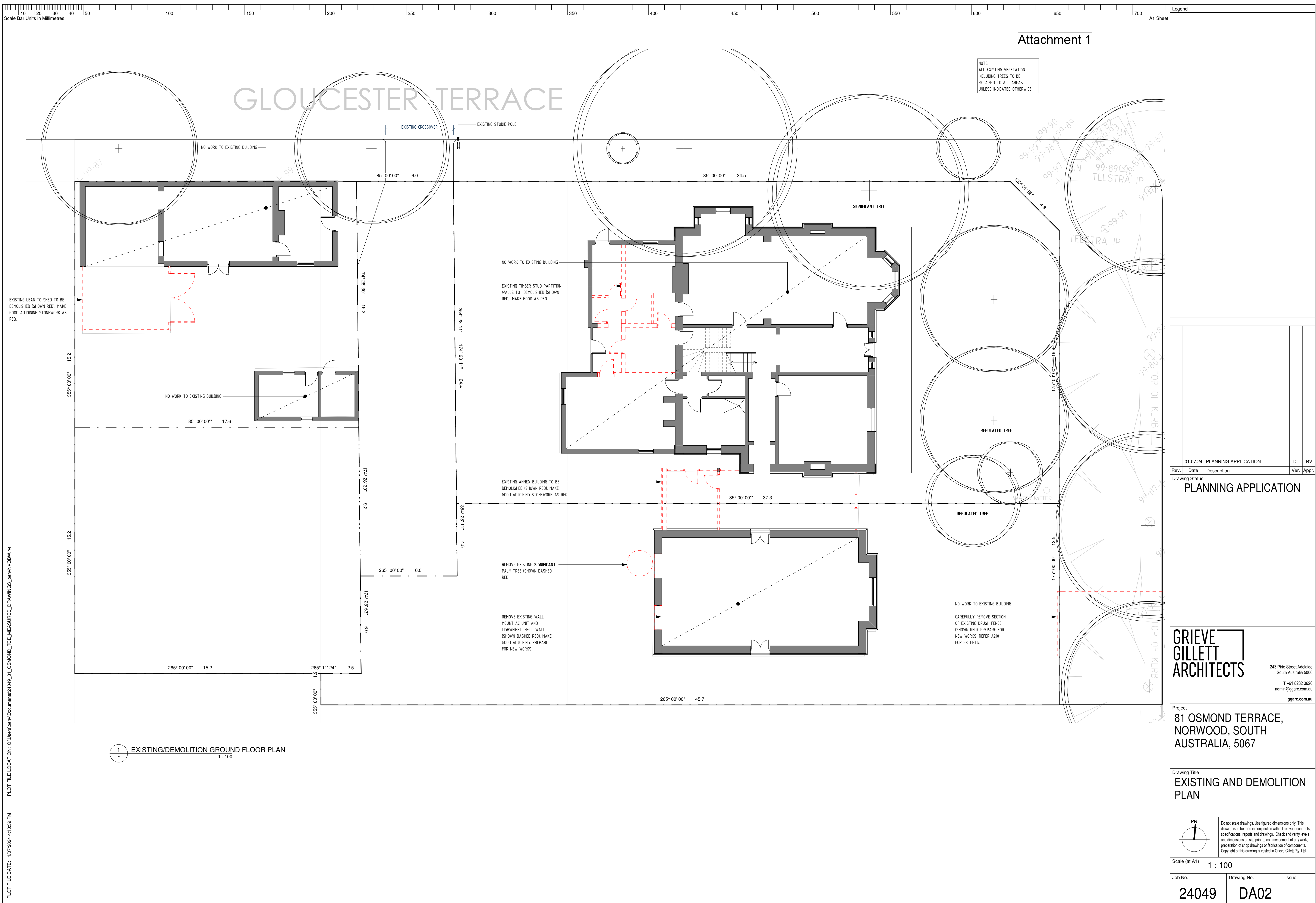
Coord. Sys.: MGA Zone 54 (GDA 94)

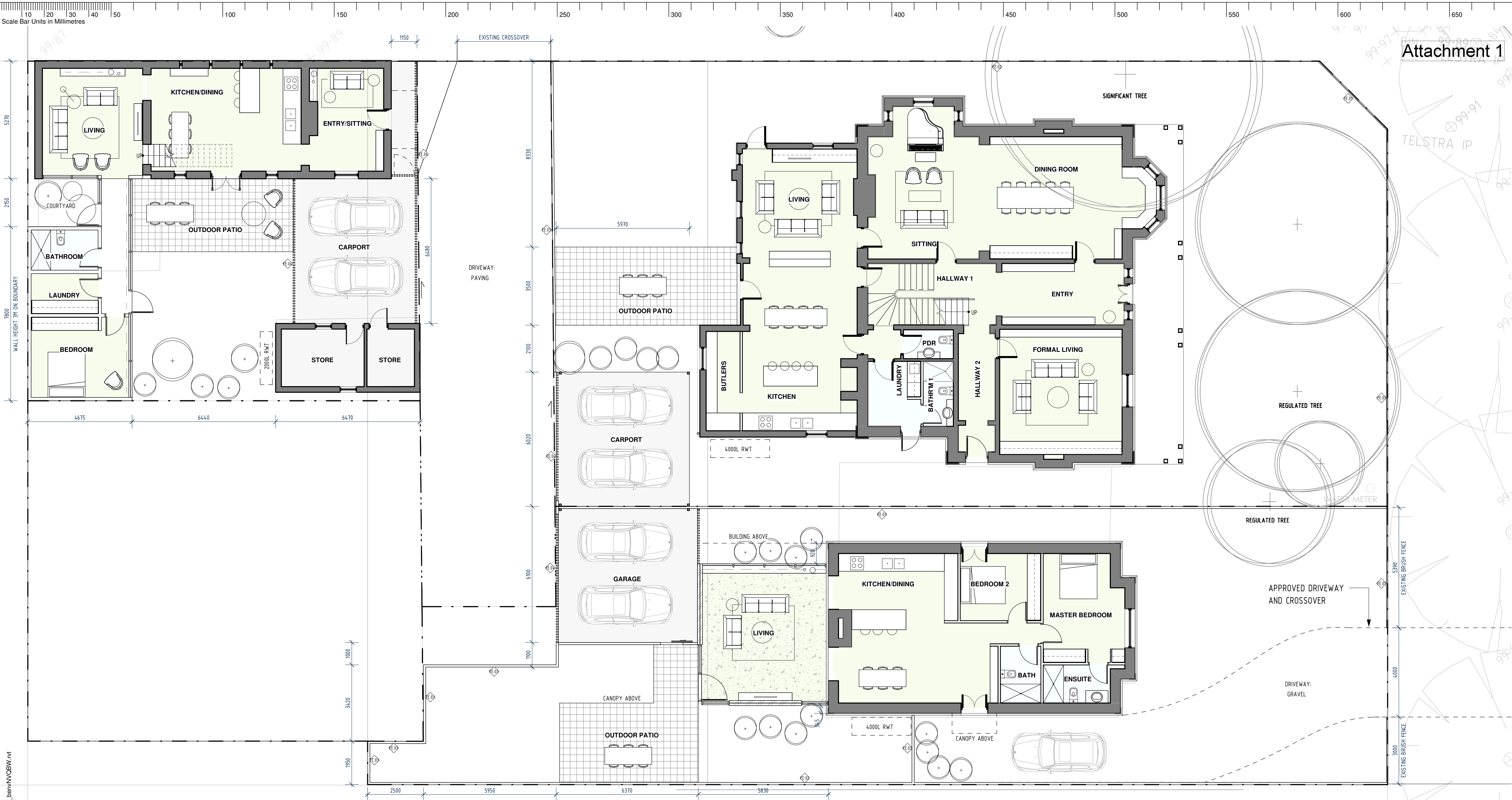
LEGEND

 Site Boundary





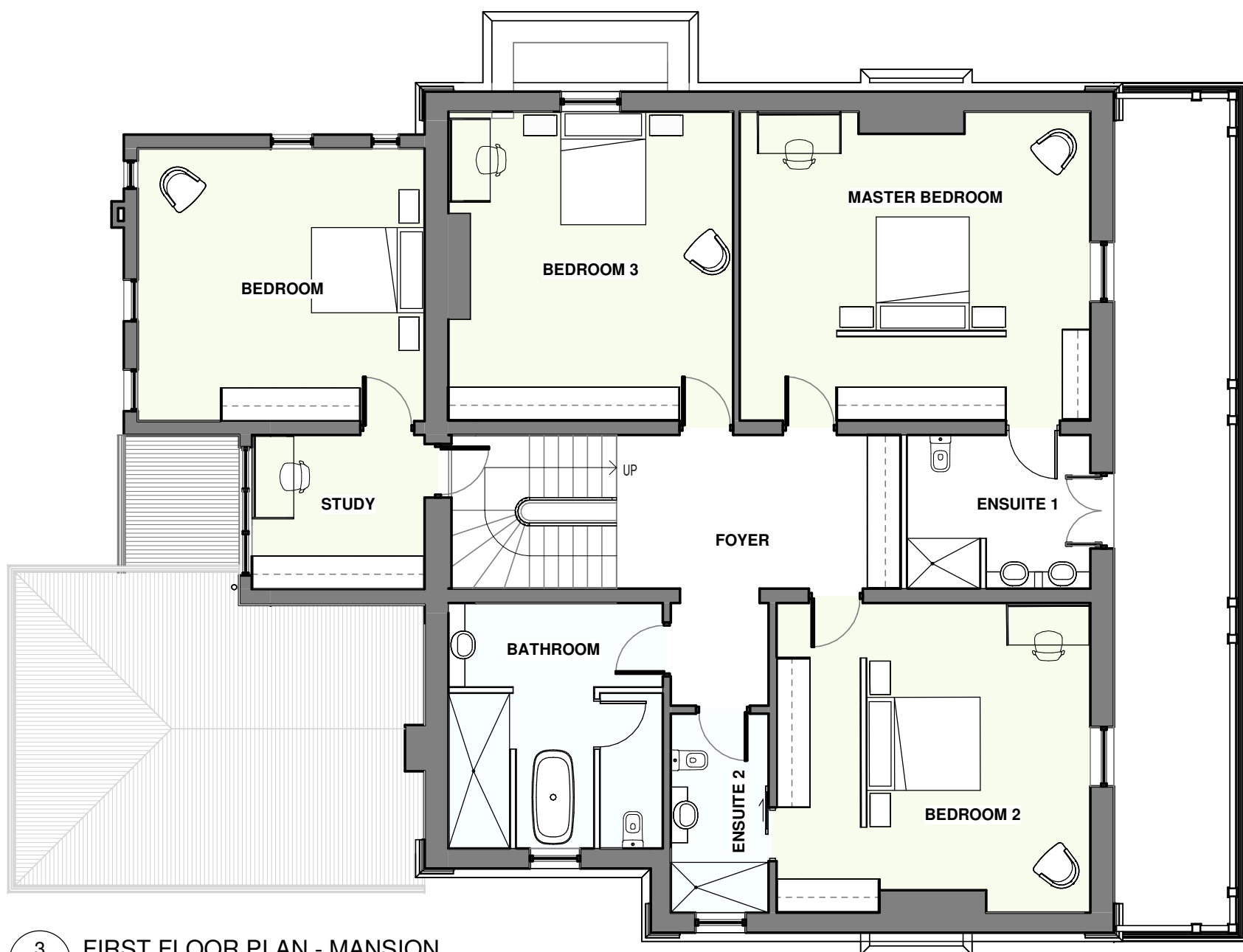




1 GROUND FLOOR PLAN
A3104 1 : 100



2 FIRST FLOOR PLAN - STABLES
1 : 100



3 FIRST FLOOR PLAN - MANSION
1 : 100

Attachment 1

Legend

MATERIAL LEGEND:

MR1 - METAL ROOF SHEETING

RP1 - RENDERED AAC PANEL "OFF WHITE"

FG - FIXED GLASS - ANODIZED ALUMINIUM

FE01 - EXISTING BRUSH FENCE

FE02 - EXISTING CORRUGATED FENCE

FE03 - POST AND RAIL FENCE "WARM GREY"

FE04 - HARDWOOD TIMBER BATTEN "SCREEN"

1800AFL NOM (NATURAL FINISH)

Rev.

Date

Description

Ver.

Appr.

01.07.24

PLANNING APPLICATION

DT

BV

Drawing Status

PLANNING APPLICATION

GRIEVE
GILLET
ARCHITECTS

243 Pine Street Adelaide
South Australia 5000
T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

Project

81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title

PROPOSED FLOOR PLANS

PN

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1)

1 : 100

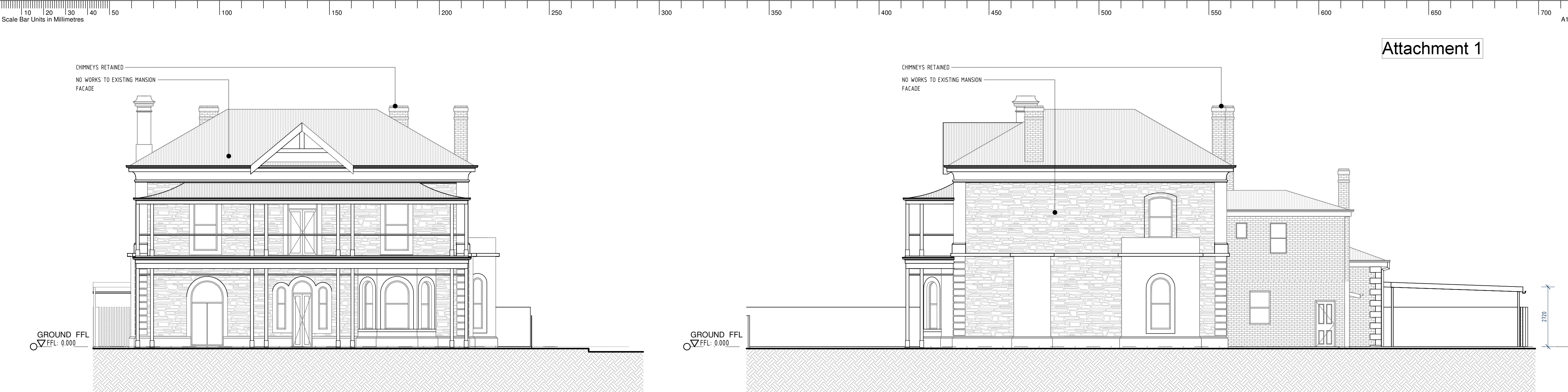
Job No.

24049

Drawing No.

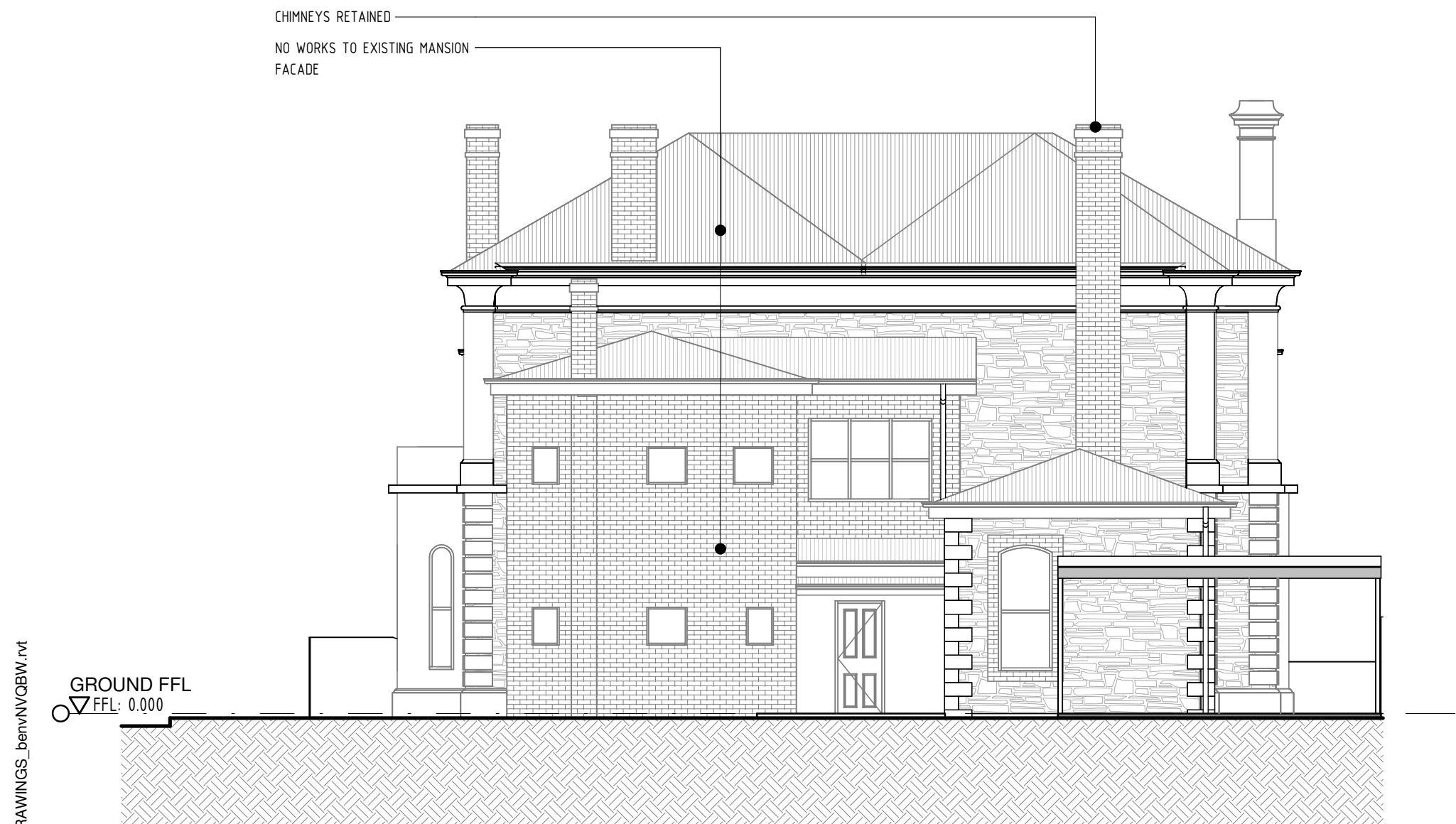
DA03

Issue



1 EAST ELEVATION MANSION
1 : 100

2 NORTH ELEVATION MANSION
1 : 100



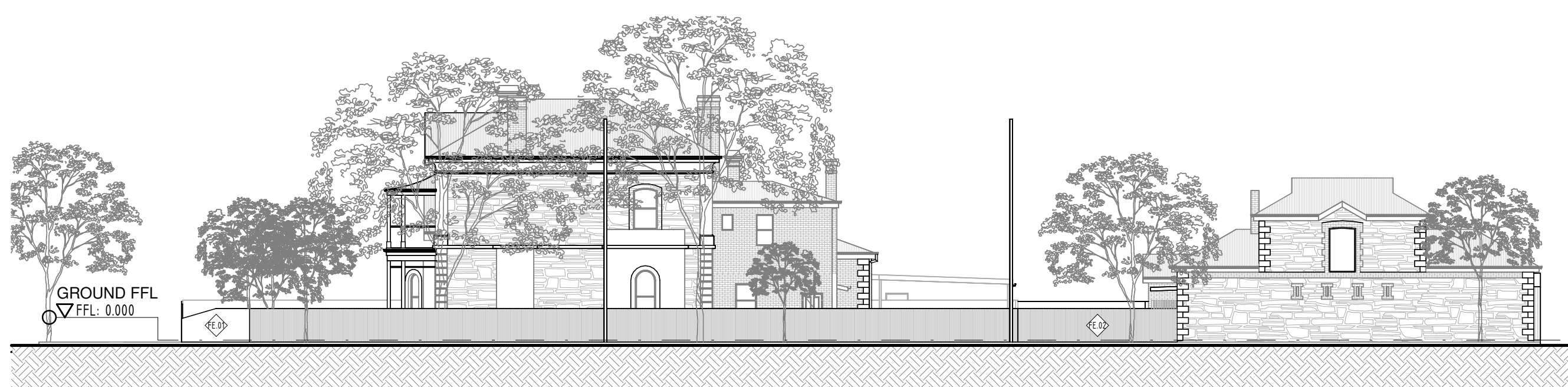
4 WEST ELEVATION MANSION
1 : 100



3 SOUTH ELEVATION MANSION
1 : 100



5 EAST STREETSCAPE
1 : 200



6 NORTH STREETSCAPE
1 : 200

Attachment 1

Legend

MATERIAL LEGEND:

- MR1 - METAL ROOF SHEETING
- RP1 - RENDERED AAC PANEL "OFF WHITE"
- FG - FIXED GLASS - ANODIZED ALUMINIUM
- FE01 - EXISTING BRUSH FENCE
- FE02 - EXISTING CORRUGATED FENCE
- FE03 - POST AND RAIL FENCE "WARM GREY"
- FE04 - HARDWOOD TIMBER BATTEN "SCREEN"
- 1800AFL NOM (NATURAL FINISH)

| | | | | |
|----------------------|----------------------|-------------|------|-------|
| 01.07.24 | PLANNING APPLICATION | DT | BV | |
| Rev. | Date | Description | Ver. | Appr. |
| Drawing Status | | | | |
| PLANNING APPLICATION | | | | |

GRIEVE GILLET ARCHITECTS

243 Pine Street Adelaide
South Australia 5000

T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

Project

81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title

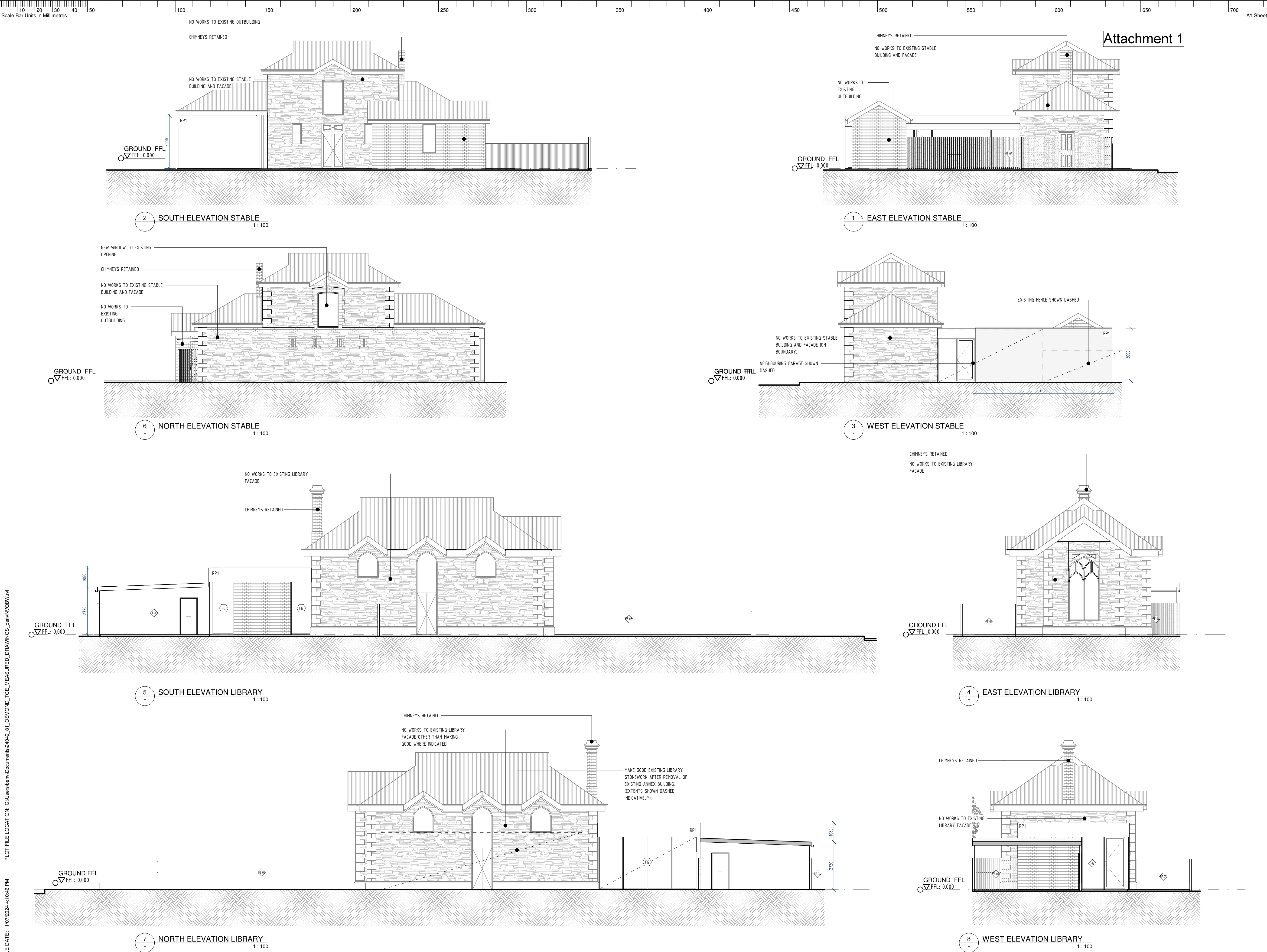
MANSION & STREETSCAPE
ELEVATIONS

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1)

As indicated

| | | |
|---------|-------------|-------|
| Job No. | Drawing No. | Issue |
| 24049 | DA04 | |



Legend

MATERIAL LEGEND:

MR1 - METAL ROOF SHEETING

RP1 - RENDERED AAC PANEL "OFF WHITE"

FG - FIXED GLASS - ANODIZED ALUMINIUM

FE01 - EXISTING BRUSH FENCE

FE02 - EXISTING CORRUGATED FENCE

FE03 - POST AND RAIL FENCE "WARM GREY"

FE04 - HARDWOOD TIMBER BATTEN "SCREEN"

180AFL NOM (NATURAL FINISH)

01.07.24

PLANNING APPLICATION

DT

BV

Rev.

Date

Description

Ver.

Appr.

Drawing Status

PLANNING APPLICATION

GRIEVE
GILLET
ARCHITECTS

243 Pine Street Adelaide
South Australia 5000
T +61 8232 3626
admin@ggarc.com.au
ggarc.com.au

Project

81 OSMOND TERRACE,
NORWOOD, SOUTH
AUSTRALIA, 5067

Drawing Title

STABLE & LIBRARY
ELEVATIONS

PN

Do not scale drawings. Use figured dimensions only. This drawing is to be read in conjunction with all relevant contracts, specifications, reports and drawings. Check and verify levels and dimensions on site prior to commencement of any work, preparation of shop drawings or fabrication of components. Copyright of this drawing is vested in Grieve Gillett Pty. Ltd.

Scale (at A1)

1 : 100

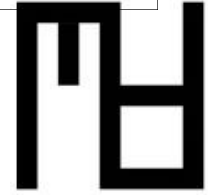
Job No.

24049

Drawing No.

DA05

Issue



Appendix B

SAPPA information + Certificates of Title

ME-592 Booth Norwood

Scale: 1:1,000 @ A4



Government
of South Australia
Land Services Group

SAPPA Parcel Report

Date Created: July 8, 2024

The South Australian Property and Planning Atlas is available at the Plan SA website <https://sappa.plan.sa.gov.au/>



Address Details

Unit Number:
Street Number: 81
Street Name: OSMOND
Street Type: TCE
Suburb: NORWOOD
Postcode: 5067

Scale ≈ 1:267 (on A4 page)

10 metres≈

Property Details:

Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
State Electorate: DUNSTAN (2014), DUNSTAN (2018), DUNSTAN (2022)
Federal Electorate: ADELAIDE (2013), ADELAIDE (2016), STURT (2019)
Hundred: ADELAIDE
Valuation Number: 1500955211
Title Reference: CT6158/814
Plan No. Parcel No.: D95918A101

Zoning details next page



Government of South Australia
Attorney-General's Department

The information provided,
is not represented to be accurate,
current or complete at the time of
printing this report.

The Government of South Australia
accepts no liability for the use of this
data, or any reliance placed on it.

This report and its contents are
(c) copyright Government of South Australia.

Zone Details

Zones

Established Neighbourhood (Z1506) - EN

Overlays

Airport Building Heights (Regulated) (O0303) - All structures over 45 metres

The Airport Building Heights (Regulated) Overlay seeks to ensure building height does not pose a hazard to the operation and safety requirements of commercial and military airfields.

Local Heritage Place (O3602) - 5849

The Local Heritage Place Overlay seeks to maintain the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Prescribed Wells Area (O4804)

The Prescribed Wells Area Overlay seeks to ensure sustainable water use in prescribed wells areas.

Regulated and Significant Tree (O5404)

The Regulated and Significant Tree Overlay seeks to mitigate the loss of regulated trees through appropriate development and redevelopment.

Stormwater Management (O5710)

The Stormwater Management Overlay seeks to ensure new development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Urban Tree Canopy (O6302)

The Urban Tree Canopy Overlay seeks to preserve and enhance urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Variations

Minimum Frontage (V0004) - _9_8_6_18_18

Minimum frontage for a detached dwelling is 9m; semi-detached dwelling is 8m; row dwelling is 6m; group dwelling is 18m; residential flat building is 18m

Minimum Site Area (V0005) - _250_250_250_250_

Minimum site area for a detached dwelling is 250 sqm; semi-detached dwelling is 250 sqm; row dwelling is 250 sqm; group dwelling is 250 sqm

Maximum Building Height (Levels) (V0008) - 2

Maximum building height is 2 levels

Attachment 1

SAPPA Parcel Report

Date Created: July 8, 2024

The South Australian Property and Planning Atlas is available at the Plan SA website <https://sappa.plan.sa.gov.au/>.



Address Details

Unit Number:
Street Number: 81
Street Name: OSMOND
Street Type: TCE
Suburb: NORWOOD
Postcode: 5067

Scale ≈ 1:315 (on A4 page)

10 metres≈

The information provided,
is not represented to be accurate,
current or complete at the time of
printing this report.

Property Details:

Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
State Electorate: DUNSTAN (2014), DUNSTAN (2018), DUNSTAN (2022)
Federal Electorate: ADELAIDE (2013), ADELAIDE (2016), STURT (2019)
Hundred: ADELAIDE
Valuation Number: 1500955211
Title Reference: CT6158/815
Plan No. Parcel No.: D95918A102

Zoning details next page



Government of South Australia
Attorney-General's Department

Zone Details

Zones

Established Neighbourhood (Z1506) - EN

Overlays

Airport Building Heights (Regulated) (O0303) - All structures over 45 metres

The Airport Building Heights (Regulated) Overlay seeks to ensure building height does not pose a hazard to the operation and safety requirements of commercial and military airfields.

Local Heritage Place (O3602) - 5849

The Local Heritage Place Overlay seeks to maintain the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Prescribed Wells Area (O4804)

The Prescribed Wells Area Overlay seeks to ensure sustainable water use in prescribed wells areas.

Regulated and Significant Tree (O5404)

The Regulated and Significant Tree Overlay seeks to mitigate the loss of regulated trees through appropriate development and redevelopment.

Stormwater Management (O5710)

The Stormwater Management Overlay seeks to ensure new development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Urban Tree Canopy (O6302)

The Urban Tree Canopy Overlay seeks to preserve and enhance urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Variations

Minimum Frontage (V0004) - _9_8_6_18_18

Minimum frontage for a detached dwelling is 9m; semi-detached dwelling is 8m; row dwelling is 6m; group dwelling is 18m; residential flat building is 18m

Minimum Site Area (V0005) - _250_250_250_250_

Minimum site area for a detached dwelling is 250 sqm; semi-detached dwelling is 250 sqm; row dwelling is 250 sqm; group dwelling is 250 sqm

Maximum Building Height (Levels) (V0008) - 2

Maximum building height is 2 levels

Attachment 1

SAPPA Parcel Report

Date Created: July 8, 2024

The South Australian Property and Planning Atlas is available at the Plan SA website <https://sappa.plan.sa.gov.au/>



Address Details

Unit Number:
Street Number: 18
Street Name: GLOUCESTER
Street Type: TCE
Suburb: NORWOOD
Postcode: 5067

Scale ≈ 1:273 (on A4 page)

10 metres≈

The information provided,
is not represented to be accurate,
current or complete at the time of
printing this report.

Property Details:

Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
State Electorate: DUNSTAN (2014), DUNSTAN (2018), DUNSTAN (2022)
Federal Electorate: ADELAIDE (2013), ADELAIDE (2016), STURT (2019)
Hundred: ADELAIDE
Valuation Number: 1500955406
Title Reference: CT6158/816
Plan No. Parcel No.: D95918A103

Zoning details next page



Government of South Australia
Attorney-General's Department

Zone Details

Zones

Established Neighbourhood (Z1506) - EN

Overlays

Airport Building Heights (Regulated) (O0303) - All structures over 45 metres

The Airport Building Heights (Regulated) Overlay seeks to ensure building height does not pose a hazard to the operation and safety requirements of commercial and military airfields.

Heritage Adjacency (O2413)

The Heritage Adjacency Overlay seeks to ensure development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those places.

Prescribed Wells Area (O4804)

The Prescribed Wells Area Overlay seeks to ensure sustainable water use in prescribed wells areas.

Regulated and Significant Tree (O5404)

The Regulated and Significant Tree Overlay seeks to mitigate the loss of regulated trees through appropriate development and redevelopment.

Stormwater Management (O5710)

The Stormwater Management Overlay seeks to ensure new development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Urban Tree Canopy (O6302)

The Urban Tree Canopy Overlay seeks to preserve and enhance urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Variations

Minimum Frontage (V0004) - _9_8_6_18_18

Minimum frontage for a detached dwelling is 9m; semi-detached dwelling is 8m; row dwelling is 6m; group dwelling is 18m; residential flat building is 18m

Minimum Site Area (V0005) - _250_250_250_250_

Minimum site area for a detached dwelling is 250 sqm; semi-detached dwelling is 250 sqm; row dwelling is 250 sqm; group dwelling is 250 sqm

Maximum Building Height (Levels) (V0008) - 2

Maximum building height is 2 levels

Attachment 1

SAPPA Parcel Report

Date Created: July 8, 2024

The South Australian Property and Planning Atlas is available at the Plan SA website <https://sappa.plan.sa.gov.au/>



Address Details

Unit Number:

Street Number: 16

Street Name: GLOUCESTER

Street Type: TCE

Suburb: NORWOOD

Postcode: 5067

Scale ≈ 1:141 (on A4 page)

10 metres≈

Property Details:

Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

State Electorate: DUNSTAN (2014), DUNSTAN (2018), DUNSTAN (2022)

Federal Electorate: ADELAIDE (2013), ADELAIDE (2016), STURT (2019)

Hundred: ADELAIDE

Valuation Number: 1500955502

Title Reference: CT6158/817

Plan No. Parcel No.: D95918A104

Zoning details next page



Government of South Australia
Attorney-General's Department

The information provided,
is not represented to be accurate,
current or complete at the time of
printing this report.

The Government of South Australia
accepts no liability for the use of this
data, or any reliance placed on it.

This report and its contents are
(c) copyright Government of South Australia.

Zone Details

Zones

Established Neighbourhood (Z1506) - EN

Overlays

Airport Building Heights (Regulated) (O0303) - All structures over 45 metres

The Airport Building Heights (Regulated) Overlay seeks to ensure building height does not pose a hazard to the operation and safety requirements of commercial and military airfields.

Prescribed Wells Area (O4804)

The Prescribed Wells Area Overlay seeks to ensure sustainable water use in prescribed wells areas.

Regulated and Significant Tree (O5404)

The Regulated and Significant Tree Overlay seeks to mitigate the loss of regulated trees through appropriate development and redevelopment.

Stormwater Management (O5710)

The Stormwater Management Overlay seeks to ensure new development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Urban Tree Canopy (O6302)

The Urban Tree Canopy Overlay seeks to preserve and enhance urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Variations

Minimum Frontage (V0004) - _9_8_6_18_18

Minimum frontage for a detached dwelling is 9m; semi-detached dwelling is 8m; row dwelling is 6m; group dwelling is 18m; residential flat building is 18m

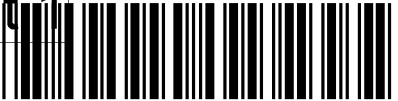
Minimum Site Area (V0005) - _250_250_250_250_

Minimum site area for a detached dwelling is 250 sqm; semi-detached dwelling is 250 sqm; row dwelling is 250 sqm; group dwelling is 250 sqm

Maximum Building Height (Levels) (V0008) - 2

Maximum building height is 2 levels

Attachment 1

| | | | | | | | | | | | |
|---|---------------|---|---------------------------------------|-----------------------------|---------|---|--------|---------------------------|------|---|--|
| PURPOSE: | | DIVISION | | AREA NAME: | | NORWOOD | | APPROVED: | | Attachment 1 | |
| MAP REF: | | 6628/42/G | | COUNCIL: | | THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST. PETERS | | IAN GREIG 11/06/2015 | |  | |
| LAST PLAN: | | | | DEVELOPMENT NO: | | 155/D009/11/001/40518 | | DEPOSITED: | | D95918 | |
| | | | | | | | | DEAN WATSON 16/06/2015 | | SHEET 1 OF 3 | |
| | | | | | | | | | | 25934_text_01_v05_Version_5 | |
| AGENT DETAILS: | | VESKA & LOHMEYER PTY LTD 3 ALEXANDRINA ROAD MOUNT BARKER SA 5251 PH: 08 8398 3050 FAX: 08 8398 3850 | | SURVEYORS CERTIFICATION: | | I MICHAEL JOHN LOHMEYER , a licensed surveyor do hereby certify - 1) That this plan has been made from surveys carried out by me or under my personal supervision and in accordance with the Survey Act 1992. 2) That the field work was completed on the 10th day of February 2015 10th day of June 2015 Michael Lohmeyer Licensed Surveyor | | | | | |
| AGENT CODE: | | LVS1 | | | | | | | | | |
| REFERENCE: | | 10157 | | | | | | | | | |
| SUBJECT TITLE DETAILS: | | | | | | | | | | | |
| PREFIX | VOLUME | FOLIO | OTHER | PARCEL | NUMBER | PLAN | NUMBER | HUNDRED / IA / DIVISION | TOWN | REFERENCE NUMBER | |
| CT | 6082 | 264 | | ALLOTMENT(S) | 94 | F | 100127 | ADELAIDE | | | |
| CT | 6082 | 265 | | ALLOTMENT(S) | 95 | F | 100127 | ADELAIDE | | | |
| CT | 6082 | 266 | | ALLOTMENT(S) | 96 | F | 100127 | ADELAIDE | | | |
| OTHER TITLES AFFECTED: | | | | | | | | | | | |
| EASEMENT DETAILS: | | | | | | | | | | | |
| STATUS | LAND BURDENED | FORM | CATEGORY | IDENTIFIER | PURPOSE | IN FAVOUR OF | | | | CREATION | |
| NEW | 103 | SHORT | FREE AND UNRESTRICTED RIGHT(S) OF WAY | A | | 101.102.104 | | | | | |
| ANNOTATIONS: NO OCCUPATION TO SURVEYED SUBJECT LAND BOUNDARIES UNLESS OTHERWISE SHOWN | | | | | | | | | | | |

REFERENCE MARKS

| CNR | BEARING | FROM | DIST | PSM NO. |
|-----|---------|-------|-------|------------|
| 1 | 130°07' | PM FD | 1.29 | 6628/14394 |
| 2 | 35°19' | MP FD | 1.87 | |
| 3 | 40°08' | PM FD | 1.29 | 6628/14220 |
| 4 | 175°12' | PM FD | 2.13 | 6628/14221 |
| 5 | 175°12' | MN FD | 0.52 | |
| 6 | 310°11' | PM FD | 1.29 | 6628/14325 |
| 7 | 266°30' | PM FD | 39.32 | 6628/14294 |
| 7 | 310°11' | PM FD | 1.29 | 6628/14242 |

FIRST FIX

THE PARADE

12.19 WIDE TERRACE

OSMOND

GLOUCESTER

HAMPTON GROVE

NLF UNDER PAVERS

ELIZABETH

STREET

WILLIAM

STREET

TERRACE

LOW WALL



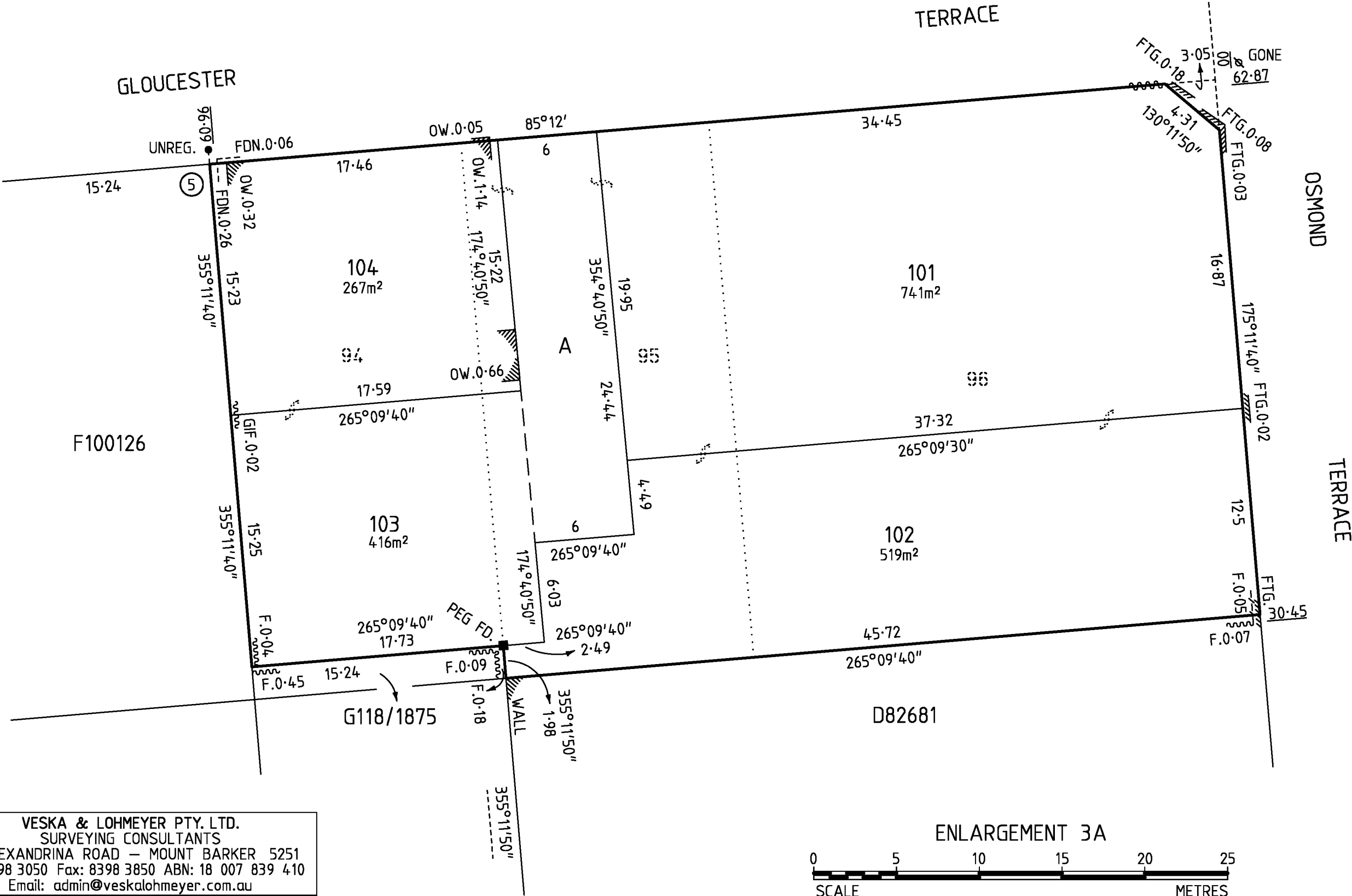
VESKA & LOHMEYER PTY. LTD.
SURVEYING CONSULTANTS
3 ALEXANDRINA ROAD — MOUNT BARKER 5251
Ph: 8398 3050 Fax: 8398 3850 ABN: 18 007 839 410
Email: admin@veskalohmeyer.com.au

| | | | | | |
|-----------------|-----|----|-----|----|-----------------|
| DATE 22/05/2015 | FLD | SF | DRN | KH | REV 08 |
| REF No 10157 | CHK | KH | | | 10157CD R08.dwg |

REFERENCE MARKS

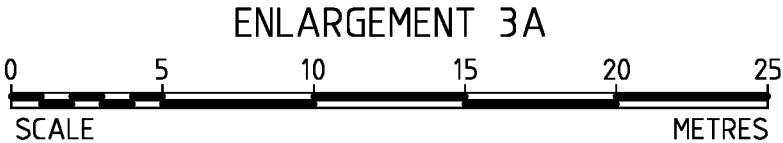
| CNR | BEARING | FROM | DIST | PSM NO. |
|-----|---------|-------|------|---------|
| 5 | 175°12' | MN FD | 0.52 | |

FIRST FIX



VESKA & LOHMEYER PTY. LTD.
SURVEYING CONSULTANTS
3 ALEXANDRINA ROAD — MOUNT BARKER 5251
Ph: 8398 3050 Fax: 8398 3850 ABN: 18 007 839 410
Email: admin@veskalohmeyer.com.au

| | | | | | |
|-----------------|-----|----|---------|---------|--------|
| DATE 22/05/2015 | FLD | SF | DRN | KH | REV 08 |
| REF No 10157 | CHK | KH | 10157CD | R08.dwg | |





The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6158 Folio 814

| | | | |
|----------------------------|--------------------------|-----------------------|------------|
| Parent Title(s) | CT 6082/265, CT 6082/266 | | |
| Creating Dealing(s) | RTC 12318661 | | |
| Title Issued | 30/06/2015 | Edition | 2 |
| | | Edition Issued | 29/10/2017 |

Estate Type

FEE SIMPLE

Registered Proprietor

81 OSMOND TERRACE PTY. LTD. (ACN: 127 656 633)
OF 325 WAKEFIELD STREET ADELAIDE SA 5000

Description of Land

ALLOTMENT 101 DEPOSITED PLAN 95918
IN THE AREA NAMED NORWOOD
HUNDRED OF ADELAIDE

Easements

TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED A ON D95918 (RTC 12318661)

Schedule of Dealings

| Dealing Number | Description |
|----------------|---|
| 11858756 | AGREEMENT UNDER DEVELOPMENT ACT, 1993 PURSUANT TO SECTION 57(1) |
| 12014257 | MORTGAGE TO BENDIGO & ADELAIDE BANK LTD. |

Notations

| | |
|---------------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |

Registrar-General's Notes

NEW EDITION CREATED DUE TO EXPIRATION OF LEASE

| | |
|---------------------------------|-----|
| Administrative Interests | NIL |
|---------------------------------|-----|



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6158 Folio 815

| | | | |
|----------------------------|--------------------------|-----------------------|------------|
| Parent Title(s) | CT 6082/265, CT 6082/266 | | |
| Creating Dealing(s) | RTC 12318661 | | |
| Title Issued | 30/06/2015 | Edition | 2 |
| | | Edition Issued | 29/10/2017 |

Estate Type

FEE SIMPLE

Registered Proprietor

81 OSMOND TERRACE PTY. LTD. (ACN: 127 656 633)
OF 325 WAKEFIELD STREET ADELAIDE SA 5000

Description of Land

ALLOTMENT 102 DEPOSITED PLAN 95918
IN THE AREA NAMED NORWOOD
HUNDRED OF ADELAIDE

Easements

TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED A ON D95918 (RTC 12318661)

Schedule of Dealings

| Dealing Number | Description |
|----------------|---|
| 11858756 | AGREEMENT UNDER DEVELOPMENT ACT, 1993 PURSUANT TO SECTION 57(1) |
| 12014257 | MORTGAGE TO BENDIGO & ADELAIDE BANK LTD. |

Notations

| | |
|---------------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |

Registrar-General's Notes

NEW EDITION CREATED DUE TO EXPIRATION OF LEASE

| | |
|---------------------------------|-----|
| Administrative Interests | NIL |
|---------------------------------|-----|



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6158 Folio 816

| | | | |
|----------------------------|--------------------------|-----------------------|------------|
| Parent Title(s) | CT 6082/264, CT 6082/265 | | |
| Creating Dealing(s) | RTC 12318661 | | |
| Title Issued | 30/06/2015 | Edition | 2 |
| | | Edition Issued | 29/10/2017 |

Estate Type

FEE SIMPLE

Registered Proprietor

81 OSMOND TERRACE PTY. LTD. (ACN: 127 656 633)
OF 325 WAKEFIELD STREET ADELAIDE SA 5000

Description of Land

ALLOTMENT 103 DEPOSITED PLAN 95918
IN THE AREA NAMED NORWOOD
HUNDRED OF ADELAIDE

Easements

SUBJECT TO FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED A ON D95918 (RTC 12318661)

Schedule of Dealings

| Dealing Number | Description |
|----------------|---|
| 11858756 | AGREEMENT UNDER DEVELOPMENT ACT, 1993 PURSUANT TO SECTION 57(1) |
| 12014257 | MORTGAGE TO BENDIGO & ADELAIDE BANK LTD. |

Notations

| | |
|---------------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |

Registrar-General's Notes

NEW EDITION CREATED DUE TO EXPIRATION OF LEASE

| | |
|---------------------------------|-----|
| Administrative Interests | NIL |
|---------------------------------|-----|



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6158 Folio 817

| | | | |
|----------------------------|--------------------------|-----------------------|------------|
| Parent Title(s) | CT 6082/264, CT 6082/265 | | |
| Creating Dealing(s) | RTC 12318661 | | |
| Title Issued | 30/06/2015 | Edition | 2 |
| | | Edition Issued | 29/10/2017 |

Estate Type

FEE SIMPLE

Registered Proprietor

81 OSMOND TERRACE PTY. LTD. (ACN: 127 656 633)
OF 325 WAKEFIELD STREET ADELAIDE SA 5000

Description of Land

ALLOTMENT 104 DEPOSITED PLAN 95918
IN THE AREA NAMED NORWOOD
HUNDRED OF ADELAIDE

Easements

TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED A ON D95918 (RTC 12318661)

Schedule of Dealings

| Dealing Number | Description |
|----------------|---|
| 11858756 | AGREEMENT UNDER DEVELOPMENT ACT, 1993 PURSUANT TO SECTION 57(1) |
| 12014257 | MORTGAGE TO BENDIGO & ADELAIDE BANK LTD. |

Notations

| | |
|---------------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |

Registrar-General's Notes

NEW EDITION CREATED DUE TO EXPIRATION OF LEASE

| | |
|---------------------------------|-----|
| Administrative Interests | NIL |
|---------------------------------|-----|

Certificate of Title

Title Reference: CT 6082/266

Status: CANCELLED

Parent Title(s): CT 6002/111

Dealing(s) Creating Title: RT 11613401

Title Issued: 18/08/2011

Title Cancelled: 30/06/2015

Edition: 3

Child Titles

| Title Reference | Status | Estate Type | Plan / Parcel | Proprietors/Lessees/ Custodians at time of issue |
|-----------------|---------|-------------|-------------------------|--|
| CT 6158/814 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 101 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6158/815 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 102 | 81 OSMOND TERRACE PTY. LTD. |

Attachment 1

Certificate of Title

Title Reference: CT 6082/265

Status: CANCELLED

Parent Title(s): CT 6002/111

Dealing(s) Creating Title: RT 11613401

Title Issued: 18/08/2011

Title Cancelled: 30/06/2015

Edition: 3

Child Titles

| Title Reference | Status | Estate Type | Plan / Parcel | Proprietors/Lessees/ Custodians at time of issue |
|-----------------|---------|-------------|-------------------------|--|
| CT 6158/814 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 101 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6158/815 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 102 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6158/816 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 103 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6158/817 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 104 | 81 OSMOND TERRACE PTY. LTD. |

Certificate of Title

Title Reference: CT 6082/264
Status: CANCELLED
Parent Title(s): CT 6002/111
Dealing(s) Creating Title: RT 11613401
Title Issued: 18/08/2011
Title Cancelled: 30/06/2015
Edition: 3

Child Titles

| Title Reference | Status | Estate Type | Plan / Parcel | Proprietors/Lessees/ Custodians at time of issue |
|-----------------|---------|-------------|-------------------------|--|
| CT 6158/816 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 103 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6158/817 | CURRENT | FEE SIMPLE | D95918 ALLOTMENT 104 | 81 OSMOND TERRACE PTY. LTD. |

Attachment 1

Certificate of Title

Title Reference: CT 6002/111
Status: CANCELLED
Parent Title(s): CT 5787/217
Dealing(s) Creating Title: RT 10844967
Title Issued: 29/01/2008
Title Cancelled: 18/08/2011
Edition: 3

Child Titles

| Title Reference | Status | Estate Type | Plan / Parcel | Proprietors/Lessees/ Custodians at time of issue |
|-----------------|-----------|-------------|-------------------------|--|
| CT 6082/264 | CANCELLED | FEE SIMPLE | F100127 ALLOTMENT 94 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6082/265 | CANCELLED | FEE SIMPLE | F100127 ALLOTMENT 95 | 81 OSMOND TERRACE PTY. LTD. |
| CT 6082/266 | CANCELLED | FEE SIMPLE | F100127 ALLOTMENT 96 | 81 OSMOND TERRACE PTY. LTD. |

Certificate of Title

Title Reference: CT 5787/217
Status: CANCELLED
Parent Title(s): CT 3935/45
Dealing(s) Creating Title: CONVERTED TITLE
Title Issued: 05/07/2000
Title Cancelled: 29/01/2008
Edition: 2

Child Titles

| Title Reference | Status | Estate Type | Plan / Parcel | Proprietors/Lessees/ Custodians at time of issue |
|-----------------|-----------|-------------|---|--|
| CT 6002/111 | CANCELLED | FEE SIMPLE | F100127 ALLOTMENT 94 F100127 ALLOTMENT 95 F100127 ALLOTMENT 96 | MINISTER FOR INFRASTRUCTURE |
| CT 6002/112 | CANCELLED | FEE SIMPLE | F100127 ALLOTMENT 97 | MINISTER FOR INFRASTRUCTURE |

South Australia
Attachment 1
(CERTIFICATE OF TITLE)

Register Book,
Vol. 3935 Folio 45

Balance Certificate of Title from Vol. 1046 Folio 135

HER MAJESTY QUEEN ELIZABETH THE SECOND

is the proprietor of an estate in fee simple

subject nevertheless to such encumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in

Dep. Reg. Genl.
being ~~PORTION~~ piece of land situate in the HUNDRED of COUNTY of

THAT PIECE of land situated in the HUNDRED OF ADELAIDE COUNTY OF ADELAIDE being the ALLOTMENTS 18, 20, 21 and 22 PORTIONS OF ALLOTMENTS 17 and 19 and PORTION OF ALLOTMENT MARKED RESERVE of the subdivision of portion of Section 261 laid out as NORWOOD and more particularly delineated and bounded as appears in the plan in the margin hereof by bold black lines WHICH said Allotments are bounded as appears in the plan deposited in the General Registry Office No. 118 of 1875

Which said Section is delineated in the public map of the said Hundred deposited in the Land Office at Adelaide.

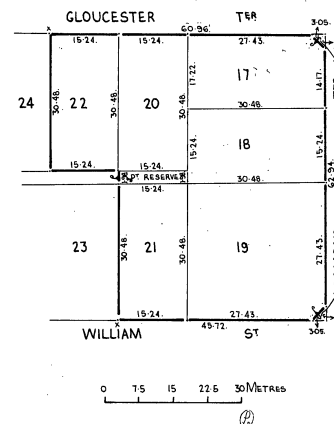
In witness whereof I have hereunto signed my name and affixed my seal this 17th day of May 1923

Signed the 17th day of May 1923, in the presence of

B. H. Nairn
Deputy Registrar-General



The land in this Certificate is
REDESIGNATED
AS ALLOTMENT(S) 14, 15, 16, 17
in FILED PLAN 100127



CANCELLED
CONVERTED TO A COMPUTERISED TITLE

Attachment 1



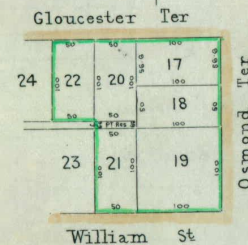
Register Book,
Vol. **1046** Folio **135**

— No Certificate of Title from Vol 1046 Folio 160 Vol 551 Folio 7 Vol 680 Folio 112 and Vol 685 Folio 53 —
James Richard Fowler of Adelaide Merchant is —
 the proprietor of an estate in fee simple
 subject nevertheless to such incumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in
that piece of land situate in the Hundred of Adelaide County of Adelaide
being Allotments 17 containing twenty perches or thereabouts 18 containing
eighteen perches or thereabouts 19 containing thirty seven perches or thereabouts
20 21 and 22 each containing eighteen perches or thereabouts and Portion of
Reserve containing one perch or thereabouts of the subdivision of Blocks 34
35 and 36 of Section 26 laid out with others as Yarrwood and more particularly
delineated and bounded as appears in the plan in the margin herof and
therein colored green —
Which said Allotments and Reserve are bounded as appears in the plan
deposited in the General Registry Office N° 118 of 1875 —

which said Section 13 delineated in the public map of the said Hundred deposited in the office of the Surveyor-General.

In witness whereof I have hereunto signed my name and affixed my seal this Fifteenth day of February 1916

Signed the 15th day of February 1916 in the presence of W L Gigg Registrar-General



100 50 0 100 FT

TRANSMISSION APPLICATION No. 1336768
George Murray Fowler, son of George and Elizabeth
William Fowler, son of George and Elizabeth
being of Adelaide Adelaide Adelaide
 PROPRIETOR OF AN ESTATE IN FEE SIMPLE IN THE WITHIN
 LAND AS THE EXECUT or NAMED IN THE WILL DATED
 THE 7 DAY OF July 1933
 NAMED James Richard Fowler OF THE ABOVE
 WHO DIED ON THE 17 DAY OF December
 19 39 AS APPEARS BY PROBATE DATED THE 11
 DAY OF January 19 40 PRODUCED FOR REGISTRATION
 THE 19 DAY OF February 19 41 AT 4:45 PM.
W L Gigg DEP. REG. GENL.

TRANSFER No. 1446039 FROM
George Murray Fowler, William
Murray Fowler and Ernest Phillips to
His Majesty King George the Sixth
 OF AN ESTATE IN FEE SIMPLE IN THE WITHIN LAND.
 PRODUCED FOR REGISTRATION THE 11 DAY OF
December 1945 at 2:15 PM
W L Gigg DEP. REG. GENL.



(CERTIFICATE OF TITLE.)

Attachment 1

Register Book.

Vol. 685 Folio 53

Pursuant to Application T^o 24270

James Richard Fowler of Adelaide Merchant
is the proprietor of an estate in fee simple

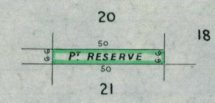
subject nevertheless to such incumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in
That piece of land situated in the HUNDRED of Adelaide COUNTY of Adelaide
being PORTION of Reserve of the subdivision of Blocks 34-35 and 36 of section 261 laid out with
others as Norwood and bounded as appears in the plan in the margin herof and therein
colored green. Which said piece of land contains one perch or thereabouts and measures as
well on the northerly side next Allotment 20 as on the southerly side next Allotment 21
fifty feet or thereabouts and as well on the easterly side next part of Allotment 18 as on the
westerly side next other part of the said Reserve six feet and six inches or thereabouts. —
Which said Allotments and Reserve are —

which said — bounded as appears in the plan deposited in the General Registry Office T^o 118 of 1875
which said Sections are delineated in the public map of the said Hundred deposited in the office of the Surveyor-General.

In witness whereof I have hereunto signed my name and affixed my seal this eleventh day of January 1902

Signed the 11th day of January
1902 in the presence of
W. H. Sackin

Frederick F. Turner
Registrar-General.



Mortgage T-376325 including
the land from James Richard
Fowler to his Edwin Thomas
Smith Produced for registration
the 21 day January 1902 at 11.50am
E. Heath Dep. Reg. Genl

DISCHARGE OF THE ABOVE MORTGAGE
NO. 376325
BY RECEIPT ENDORSED THEREON PRODUCED
FOR REGISTRATION THE 15 DAY OF
January 1902 AT 11.50 AM
W. H. Sackin
DEP. REG. GENL

CANCELLED
AND New CERTIFICATE OF TITLE
ISSUED Nov 20 1905 of 491
VOL. 1016 FOL. 35
W. H. Sackin
DEP. REG. GENL

73440417

TRANSFER No. 3440417 to the Corporation
of the City of Kensington and
Norwood for road purposes
PRODUCED 23rd 11.50am
CANCELLED AS REGARDS ABOVE LAND AND NEW C.T. ISSUED
VOL. 3935 FOL. 44
R. London
DEP. REG. GEN.

CANCELLED
AND Balance CERTIFICATE OF TITLE
ISSUED 15 VOL. 3935 FOL. 45
R. London
DEP. REG. GEN.

Attachment 1

(CERTIFICATE OF TITLE.)



Register Book,
Vol. 680 Folio 110

Pursuant to Memorandum of Transfer No. 371452

James Richard Fowler of Adelaide Merchant
is the proprietor of an estate in fee simple

subject nevertheless to such incumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in those pieces of land situated in the HUNDRED of Adelaide COUNTY of Adelaide being the ALLOTMENTS 19 containing thirty seven perches or thereabouts 21 and 22 each containing eighteen perches or thereabouts of the subdivision of Blocks 34-35 and 36 of Section 26 laid out with others as Thorwood and more particularly delineated in the plan in the margin hereof

Which said allotments are bounded as appears in the plan in the margin hereof and therein colored green and in the plan deposited in the General Register Office No. 118 of 1875 Which said Sections are delineated in the public map of the said Hundred deposited in the office of the Surveyor-General.

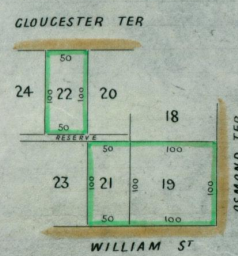
In witness whereof I have hereunto signed my name and affixed my seal this twentieth day of September 1901

Signed the 20 day of September 1901 in the presence of N. H. Sarker

E. Heath
Dep. Registrar-General



Mortgage No. 376325 from James Richard Fowler to his Edwin Thomas Smith Produced for registration the 21 day January 1902 at 4/5 p.m. producing other facts E. Heath Dep. Reg. Genl.



DISCHARGE OF THE above MORTGAGE NO. 376325 BY RECEIPT ENDORSED THEREON PRODUCED FOR REGISTRATION THE 15 DAY OF January 1902 AT 4.15 P.M. N. H. Sarker DEP. REG. GENL.

CANCELLED AND New CERTIFICATE OF TITLE ISSUED No. 2025 of 1916 VOL. 1046 FOL. 125 N. H. Sarker DEP. REG. GENL.

Person to Memorandum of Transfer No 250426

Thomas Gifford Towood Solicitor

is the proprietor of an estate in fee simple

subject nevertheless to such incumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in that piece of land situated in the HUNDRED of Adelaide COUNTY of Adelaide being the ALLOTMENTS 18 and 20 each containing eight acres besides other parts of the subdivision of Block 3435 and 36 the section 201 laid out with others as Towood subject to copies of land is more particularly delineated in the said plan

Which said allotments

bounded as appears in the plan in the margin hereof and therein colored green and in the plan deposited in the General Registry Office No 112 of 1875. Which said Section 201 delineated in the public map of the said Hundred deposited in the office of the Surveyor-General.

In witness whereof I have hereunto signed my name and affixed my seal this seventeenth day of August 1891

Signed the seventeenth day of August 1891 in the presence of

A H Saker Registrar-General

Registrar-General.

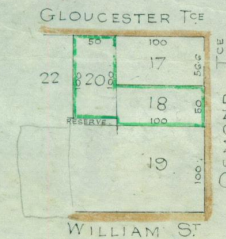


Mortgage No 250546 including also other property from Thomas Gifford to the Mortgage Company of South Australia Limited produced for registration the 17 day August 1891 at 2.55 pm J. P. Heath Regd Officer

Mortgage No 250547 including also other property from Thomas Gifford to Alfred Jones and Sarah Elizabeth Edmunds produced for registration the 17 day August 1891 at 2.55 pm J. P. Heath Regd Officer

Discharge of the within Mortgage No 250547 of receipt endorsed the 10 day July 1891 at 3 pm M. Hume Regd Officer

The within mortgage No 250546 is discharged from the sum of £380 as appears by Memorandum No 365001 Produced for registration the 25 day May 1891 at 11 am J. P. Heath Regd Officer



FT 100 50 0 100 FT

DISCHARGE OF THE WITHIN MORTGAGE

NO. 250 546 BY Memorandum to 371451

PRODUCED FOR REGISTRATION

THE 28 DAY OF August 1902

AT 3:00 PM

DEP. REG. GENL.

Transfer No 371451 from Thomas
Sepp to James Richard Fowler

of Adelaide Merchant of an estate
in fee simple in the within land
Produced for registration the 28
day August 1902 at 11:30 am

Mortgage No 376335 including other
land from James Richard Fowler
to Sir Edwin Thomas Smith,
Produced for registration the
21 day January 1902 at 11:50 am

DISCHARGE OF THE ABOVE MORTGAGE

NO. 376335

BY RECEIPT ENDORSED THEREON PRODUCED

FOR REGISTRATION THE 13 DAY OF

January 1902 AT 11:20 AM

W. A. Satter

DEP. REG. GENL.

CANCELLED

AND NO. 2025

ISSUED. VOL. 1034

FOL. 135

DEP. REG. GENL.

Attachment 1

CERTIFICATE OF TITLE



Register Book,

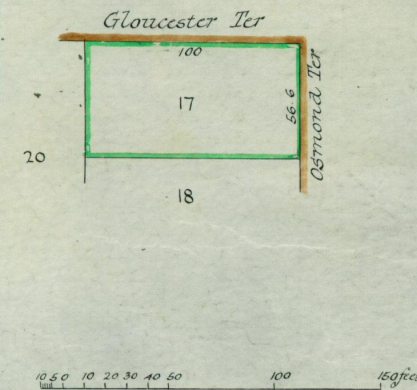
Vol. CCCCLXV Folio 160

Oscar Goerger of Adelaide Medical Practitioner is now seized of an estate
subject nevertheless to such incumbrances, liens, and interests, as are notified by memorial underwritten or endorsed hereon in
that piece of land situate in the Hundred of Adelaide County of Adelaide being the allotment No 17
of the subdivision of the Blocks 34, 35 and 36 of the Section 26 laid out with streets as Norwood and bounded
as appears in the plan deposited in the General Registry Office No 118 of 1875 and in the margin hereof and
therein set out. Which said piece of land contains twenty four acres and measures as follows
the North boundary Gloucester Terrace on the South boundary the allotment 18 one hundred feet or
thereabouts and as well on the North boundary the allotment 18 one hundred feet or thereabouts and as well on the
allotment 20 fifty six feet and six inches on the East boundary the allotment 18 one hundred feet or thereabouts
said land was conveyed by Memorandum of Transfer No 183,585.

which said Section is delineated in the public map of the said Hundred, deposited in the office of the Surveyor-General.

In witness whereof, I have herunto signed my name and affixed
my seal this 24th day of November
one thousand eight hundred and eighty-four in
presence of Edm. Barry

W. A. Satter
Registrar-General.



Being of the above land from Philip
Henry Bowden to Joseph Edmunds
Registered No 249 30th Jan 1884

Transfer No 214254 from Oscar
Goerger to Joseph Edmunds of Norwood son
of the above land. Produced for
registration the 16 day of June 1887
at 2:45 PM

Pursuant to Application No 249586
Alfred Jones Adelaide Gentleman
and Sarah Elizabeth Edwards
of Norwood Spouse and proprietors of an
estate in fee simple in the within
land as the executors named in
the will of the late the 21 day January
1884 of the within named Joseph
Edmunds who died on the 130 day
October 1898 as appears by Probate
dated the 9 day January 1899
Produced for registration the 11 day
July 1899 at 11:20 AM

over

~~Quadrilles No 206436. Same as above.~~
~~and School? Elizabeth? Quindici to Thomas~~
~~Sister of John? 21st. Richmond?~~
~~quadrilles No 12. May 7 August 1897~~
~~at 1 p.m.~~

~~Cancelled as against Pol 17~~

~~A New Certificate of Title issued for Lot 177~~

~~By hand~~

Transfer h^o 250426 - from Alred Jones and Sarah Elizabeth Edmunds to Thomas Jeff of Ironwood, Editor of an estate in timber in the above land.
Produced for registration the 12th day of August 1891 at 3.25 pm

6. H. Heath Deputy Genl

~~Mortgage No 250546~~ Individual
also called [unclear] from Thomas Gepp
to the Quorlark Company of
South Australia Limited Product
for application the 17 day
August 1909 at 255 pm
E. H. Heath dep. H. H. H.

Mortgage No 250547. Including
and other (property) from Thomas
Goff to Alfred Jones and Sarah
Elizabeth Edmund Lawrence for
operation Dec 17 day August 1891
at 2.55pm
E. H. Heath ex. p. 16

Discharge of the within Mortgage
#250547 by receipt evidenced herein
induced for registration the
19 day July 1881 - Epm

Jas. H. Munroe Secy for Est.

The within mortgage N: 350546
is discharged from the sum
of \$300 as appears by Memo and
N: 368001 produced for registration
on 25 day of May 1891 at New
York City
J. H. Heath Reg. 102, Env.

DISCHARGE OF THE WITHIN MORTGAGE
 NO. 282546 BY Memoandum to 37450
 PRODUCED FOR REGISTRATION
 THE 28 DAY OF August 1921
 AT 1130 a.m.
 J. H. Scott DEP. REG. CLERK

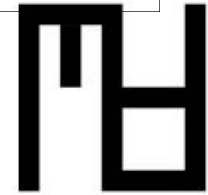
Transfer No. 331 457 from Thomas G. G.
to James Richard Fowler of Oakland.
Herewith of an estate in fee simple in
therein and produced for regis-
tration the 25th day August 1901 at 11 A.M.
J. R. Heath Deputy Reg.

Mortgage No. 376325 Ann Jones
Richard & wife to his Cousin
Thomas Smith produced for
registration the 11 day January
1862 at 11:30 AM including the fees
of P. Neale Dep. R. J. Smith

DISCHARGE OF THE above MORTGAGE
NO. 876925
BY RECEIPT ENDORSED THEREON PRODUCED
FOR REGISTRATION 15 DAY OF
January 1916 AT 11:55 A.M.
W H Taylor
DEP. REG. GENL.

CANCELLED
NEW
..... CERTIFICATE OF TITLE
ISSUED *Mar 20 35* *1916*
VOL..... 10716 EOL..... 135.
232 Hubbard
DEP. REG. GENL.

Page 57 of 162



Appendix C

SA EPA Honesty in Reporting Declaration

Appendix 1 Honesty in reporting declaration

1 Site contamination consultant/site contamination auditor contact details

This section is to be completed by the consultant or auditor

Form completed while engaged as a consultant [X] or auditor [] (tick only one box)

Consultant/auditor company: Mud Environmental

Auditor accreditation number (if applicable): N/A

Postal address: PO Box 80 Henley Beach SA 5022

Telephone: (0439 725 754) Facsimile: (-)

Email: adrian@mudenvironmental.com.au

Consultant/auditor reference: ME-592

EPA reference number (if applicable): N/A

Declaration:

I understand that it is an offence to provide false or misleading information to the Authority (section 120A of the *Environment Protection Act 1993*).

I understand that I must clearly qualify any statement of my opinion as to the existence of site contamination at the site by specifying the land uses that were taken into account in forming that opinion (section 103ZA of the *Environment Protection Act 1993*).

Maximum penalties range from \$30 000 for individuals to \$60 000 for corporations.

Name: Adrian Webber

Signature: 

Position of signatory: Director

Date: 29/07/2024

2 Site information

This section is to be completed by the consultant or auditor

Site name (if applicable): N/A

Site address: 81 Osmond Terrace, Norwood, South Australia.

Certificate of Title number(s):

CT6158/814 - D95918A101, CT6158/815 - D95918A102, CT6158/816 - D95918A103, CT6158/817 - D95918A104 (ALL)

Date(s) of assessment: July 2024

Site owner and contact details: 81 Osmond Terrace Pty. Ltd. (ACN: 127 656 633)

Site occupier and contact details (if applicable): Vacant

Name, address and position of person requesting report: Booth Real Estate - Charles Booth

Existing or proposed land use: Residential

Consultant/auditor reference: ME-592

Attachment 1

3 Person(s) providing information to site contamination consultants or auditors

This section is to be completed by each person who provides information to a consultant or auditor)

Section 103ZB of the *Environment Protection Act 1993* states that:

A person must not make a statement that the person knows to be false or misleading in a material particular (whether by reason of the inclusion or omission of any particular) in any information furnished to a site contamination auditor or site contamination consultant that might be relied on by the auditor or consultant in preparing a report relating to site contamination (whether or not required under this or any other Act).

Maximum penalties range from \$30 000 for individuals to \$60 000 for corporations.

Declaration:

I hereby declare I have read and that I understand section 103ZB of the *Environment Protection Act 1993* printed above.

Name:

Signature:

Position of signatory:

Date:

Name:

Signature:

Position of signatory:

Date:

Name:

Signature:

Position of signatory:

Date:

Name:

Signature:

Position of signatory:

Date:

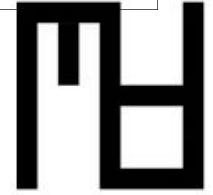
Name:

Signature:

Position of signatory:

Date:

Attachment 1



Appendix D

General Land Use + Planning Information



Planning

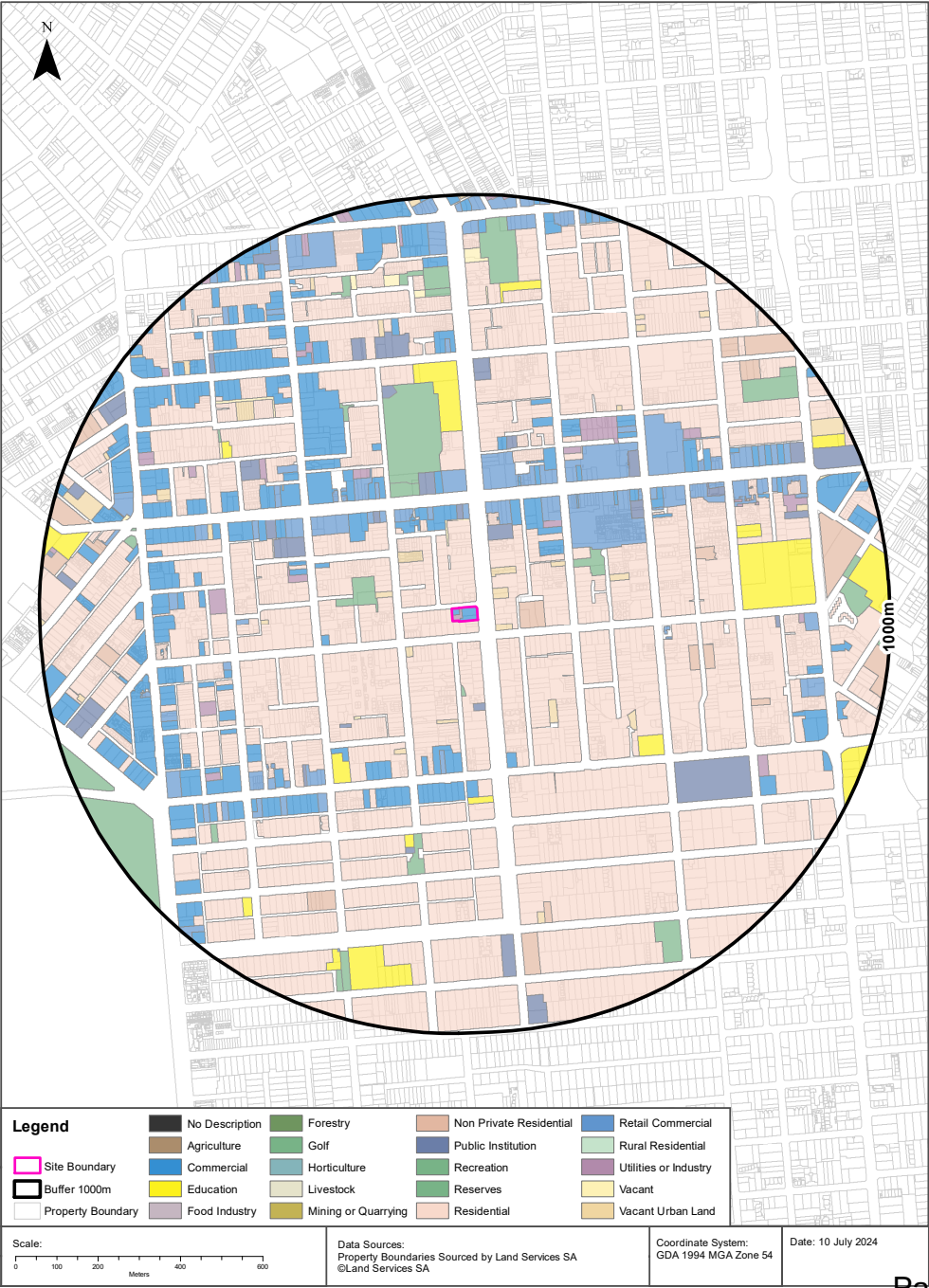
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Land Use Generalised

Land use classes within the dataset buffer:

| Description | Distance | Direction |
|-------------------------|----------|------------|
| Commercial | 0m | On-site |
| Utilities or Industry | 0m | On-site |
| Residential | 0m | On-site |
| Vacant Urban Land | 43m | East |
| Non Private Residential | 101m | East |
| Vacant | 151m | North |
| Reserves | 154m | South |
| Public Institution | 162m | North East |
| Retail Commercial | 206m | North |
| Recreation | 316m | North |
| Education | 418m | South West |

Land Use Generalised Data Source: Dept of Planning, Transport and Infrastructure - South Australia
Creative Commons 4.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/4.0/au/deed.en>



Planning and Design Code Zones

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Attachment 1

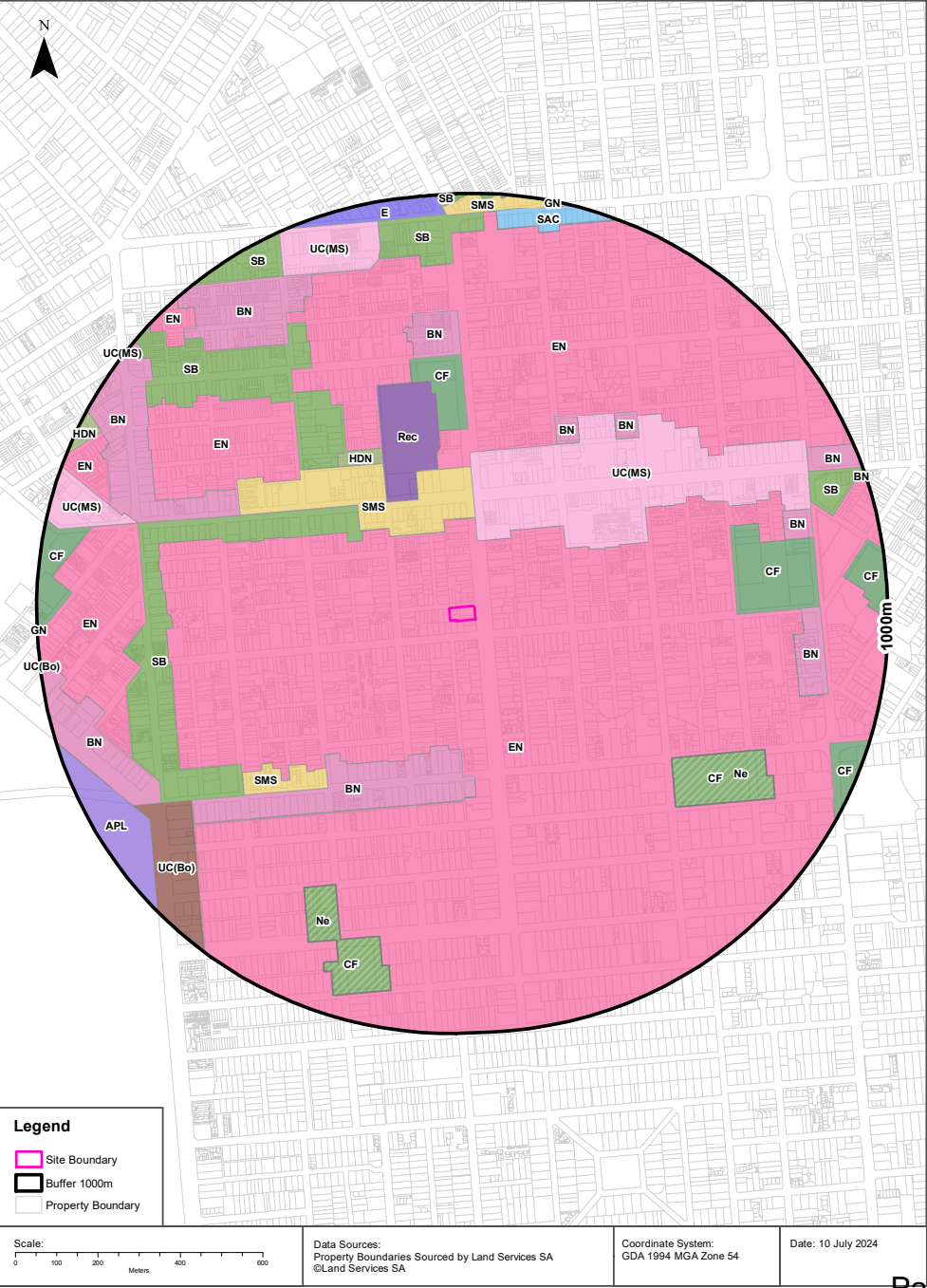
Planning

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Planning and Design Code - Zones

Planning and Design Code zones within the dataset buffer:

| Map Id | Zone Code | Zone Name | Legal Start Date | Status | Distance | Direction |
|--------|-----------|---------------------------------|------------------|--------|----------|------------|
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | | 0 0m | On-site |
| UC(MS) | Z6305 | Urban Corridor (Main Street) | 19/03/2021 | | 0 158m | North East |
| SMS | Z5711 | Suburban Main Street | 19/03/2021 | | 0 186m | North West |
| SB | Z5719 | Suburban Business | 19/03/2021 | | 0 266m | West |
| Rec | Z5401 | Recreation | 19/03/2021 | | 0 274m | North |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 300m | South West |
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | | 0 335m | North |
| HDN | Z2404 | Housing Diversity Neighbourhood | 19/03/2021 | | 0 384m | North West |
| CF | Z0903 | Community Facilities | 19/03/2021 | | 0 430m | North |
| SB | Z5719 | Suburban Business | 19/03/2021 | | 0 434m | North West |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 441m | North East |
| SMS | Z5711 | Suburban Main Street | 19/03/2021 | | 0 467m | South West |
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | | 0 477m | North West |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 532m | North East |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 555m | North West |
| CF | Z0903 | Community Facilities | 19/03/2021 | | 0 580m | South East |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 610m | North |
| CF | Z0903 | Community Facilities | 19/03/2021 | | 0 633m | East |
| CF | Z0903 | Community Facilities | 19/03/2021 | | 0 696m | South |
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | | 0 736m | West |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 749m | North West |
| UC(Bo) | Z6302 | Urban Corridor (Boulevard) | 19/03/2021 | | 0 762m | South West |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 769m | East |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 771m | East |
| UC(MS) | Z6305 | Urban Corridor (Main Street) | 19/03/2021 | | 0 782m | West |
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | | 0 805m | West |
| SB | Z5719 | Suburban Business | 19/03/2021 | | 0 832m | North |
| UC(MS) | Z6305 | Urban Corridor (Main Street) | 19/03/2021 | | 0 843m | North |
| SB | Z5719 | Suburban Business | 19/03/2021 | | 0 853m | East |
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | | 0 862m | West |
| APL | Z0302 | Adelaide Park Lands | 29/06/2023 | | 0 872m | South West |



| Map Id | Zone Code | Zone Name | Legal Start Date | Status | Distance | Direction |
|--------|-----------|---------------------------------|------------------|--------|----------|------------|
| BN | Z0601 | Business Neighbourhood | 19/03/2021 | 0 | 873m | North East |
| CF | Z0903 | Community Facilities | 19/03/2021 | 0 | 886m | West |
| CF | Z0903 | Community Facilities | 19/03/2021 | 0 | 896m | East |
| SB | Z5719 | Suburban Business | 19/03/2021 | 0 | 899m | North West |
| EN | Z1506 | Established Neighbourhood | 19/03/2021 | 0 | 903m | North West |
| CF | Z0903 | Community Facilities | 19/03/2021 | 0 | 908m | East |
| SAC | Z5705 | Suburban Activity Centre | 19/03/2021 | 0 | 915m | North |
| HDN | Z2404 | Housing Diversity Neighbourhood | 19/03/2021 | 0 | 944m | North West |
| E | Z1501 | Employment | 19/03/2021 | 0 | 948m | North |
| SMS | Z5711 | Suburban Main Street | 19/03/2021 | 0 | 948m | North |
| SB | Z5719 | Suburban Business | 19/03/2021 | 0 | 971m | North |
| UC(L) | Z6304 | Urban Corridor (Living) | 19/03/2021 | 0 | 985m | North |
| GN | Z2102 | General Neighbourhood | 19/03/2021 | 0 | 987m | North |
| UC(Bo) | Z6302 | Urban Corridor (Boulevard) | 19/03/2021 | 0 | 989m | West |
| GN | Z2102 | General Neighbourhood | 19/03/2021 | 0 | 990m | West |
| UC(MS) | Z6305 | Urban Corridor (Main Street) | 19/03/2021 | 0 | 997m | North West |

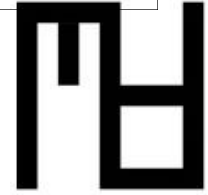
Planning and Design Code Zones Data Source: Attorney-General's Department - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

Planning and Design Code - Subzones

Planning and Design Code subzones within the dataset buffer:

| Map Id | Subzone Code | Subzone Name | Legal Start Date | Status | Distance | Direction |
|--------|--------------|---------------|------------------|--------|----------|------------|
| Ne | S4204 | Neighbourhood | 19/03/2021 | 0 | 580m | South East |
| Ne | S4204 | Neighbourhood | 19/03/2021 | 0 | 698m | South |

Planning and Design Code Subzones Data Source: Attorney-General's Department - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>



Appendix E

Topographical + Geological + Soil Maps

Topographic Features

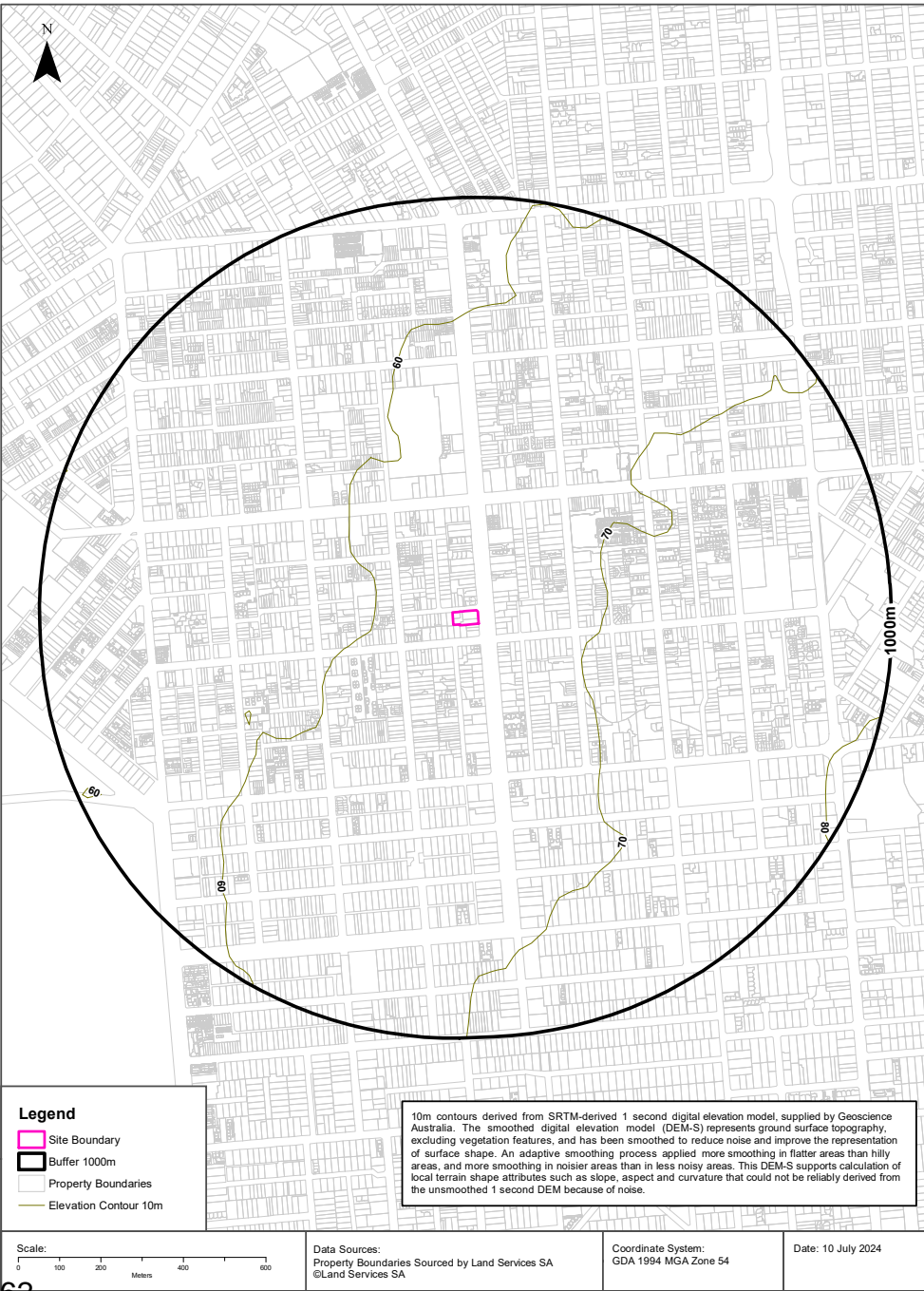
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

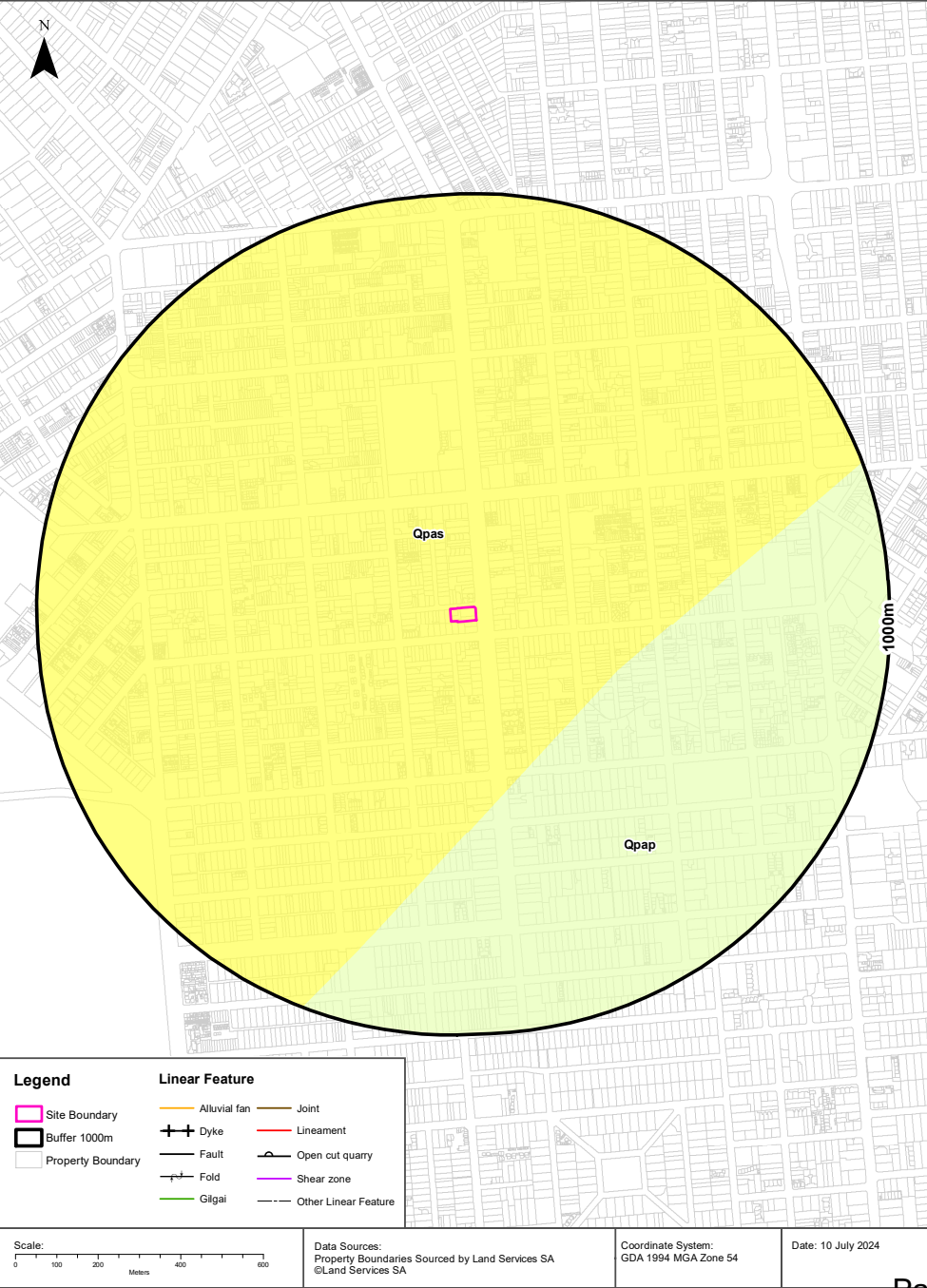


Elevation Contours

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Attachment 1





Attachment 1

Geology

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Surface Geology 1:100,000

Surface Geology Units within the dataset buffer:

| Map Unit Code | Name | Description | Parent Name | Province | Age | Min Age | Max Age | Dist | Dir |
|---------------|-------------------|--|--|------------------|-------------|-------------------|-------------------|------|------------|
| Qpas | Keswick Clay | Clay, smectite-rich, grey-green, with red or yellow mottling and rare sand lenses. | Pleistocene alluvial/fluvial sediments | ST VINCENT BASIN | PLEISTOCENE | Pleistocene | Pleistocene | 0m | On-site |
| Qpap | Pooraka Formation | Clay, sand and carbonate earth, silty, with gravel lenses. | Pleistocene alluvial/fluvial sediments | ST VINCENT BASIN | PLEISTOCENE | Pleistocene, Late | Pleistocene, Late | 333m | South East |

Geology Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 4.0 © Commonwealth of Australia <https://creativecommons.org/licenses/by/4.0/>

Linear Structures 1:100,000

Linear geological structures within the dataset buffer:

| Map Code | Description | Distance | Direction |
|----------|----------------------|----------|-----------|
| N/A | No records in buffer | | |

Geology Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 4.0 © Commonwealth of Australia <https://creativecommons.org/licenses/by/4.0/>



Soils

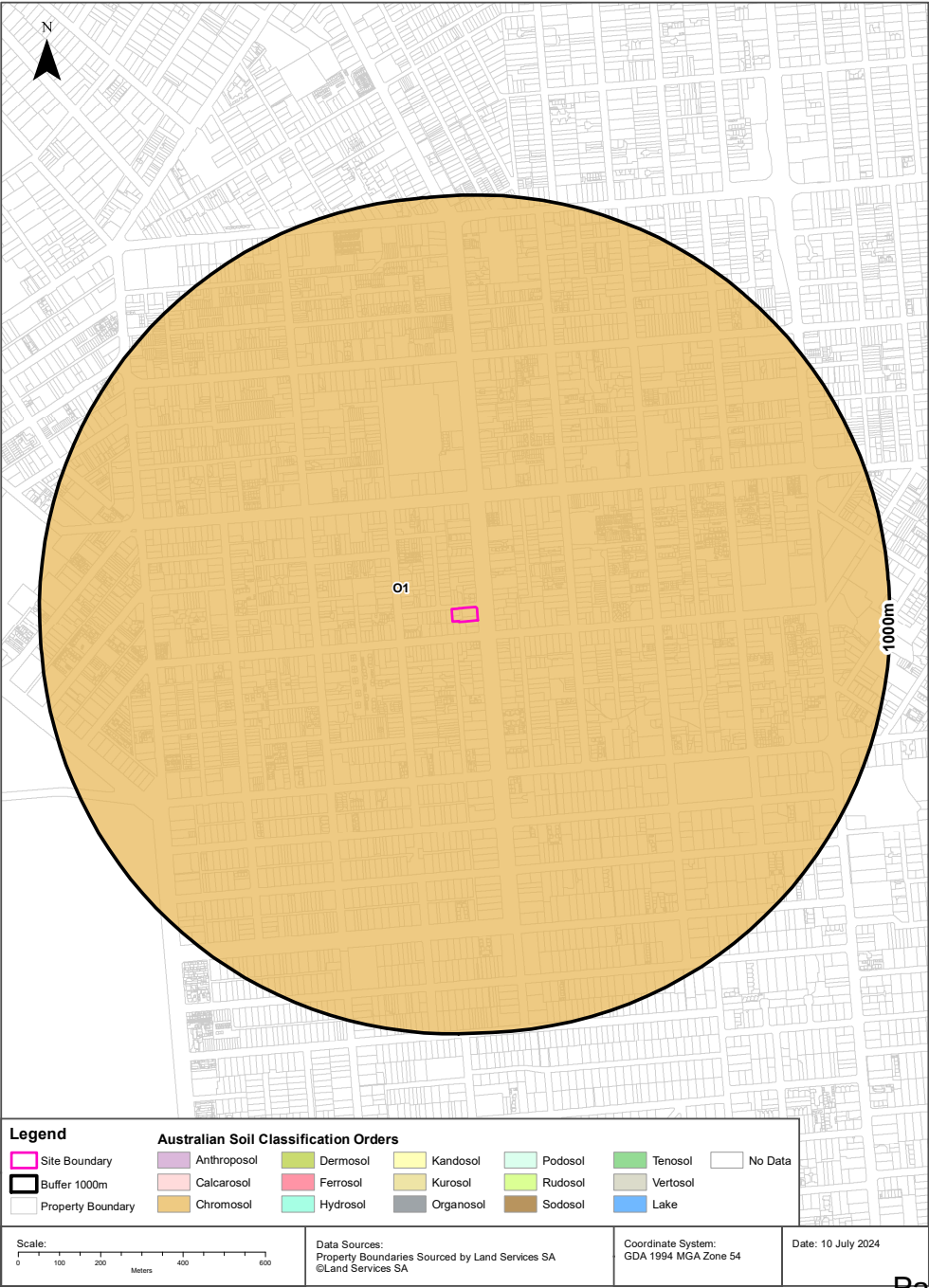
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Atlas of Australian Soils

Soil mapping units and Australian Soil Classification orders within the dataset buffer:

| Map Unit Code | Soil Order | Map Unit Description | Distance | Direction |
|---------------|------------|--|----------|-----------|
| O1 | Chromosol | Outwash plains: hard alkaline red soils (Dr2.23 with small areas Dr2.33); small areas cracking clay soils (Ug5.15, Ug5.16, and Ug5.2), also hard alkaline yellow mottled soils (Dy3.43); minor areas (Um6.21) and (Uf6.11); various alluvial soils (unclassified) in the stream valleys. | 0m | On-site |

Atlas of Australian Soils Data Source: CSIRO
Creative Commons 4.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/4.0/au/deed.en>





Soils

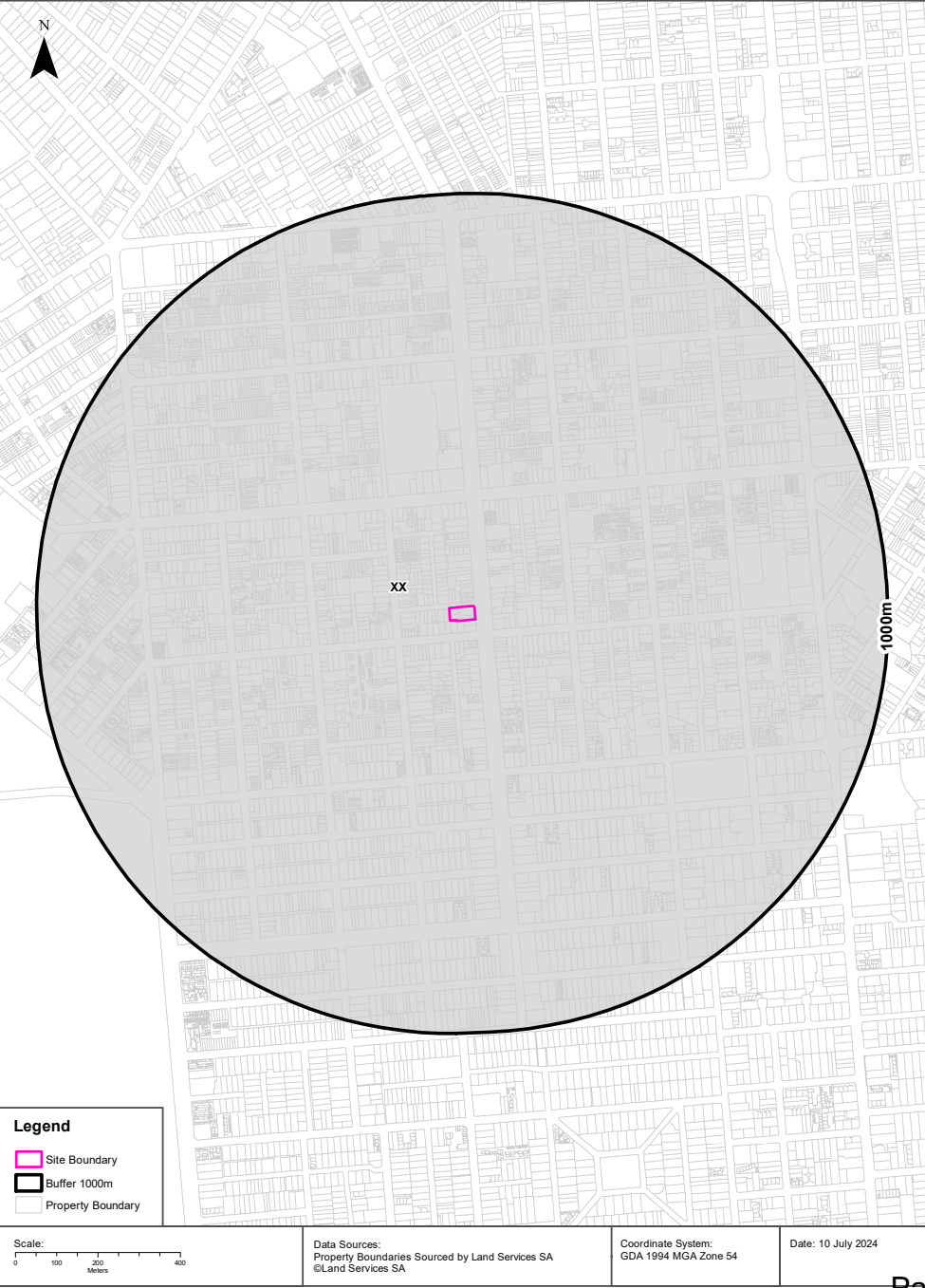
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Soil Types

Soil types within the dataset buffer:

| Map category code | Soil type description | Distance | Direction |
|-------------------|--|----------|-----------|
| XX | Not applicable - No assessment/analysis undertaken | 0m | On-site |

Soil Types Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>





Acid Sulfate Soils

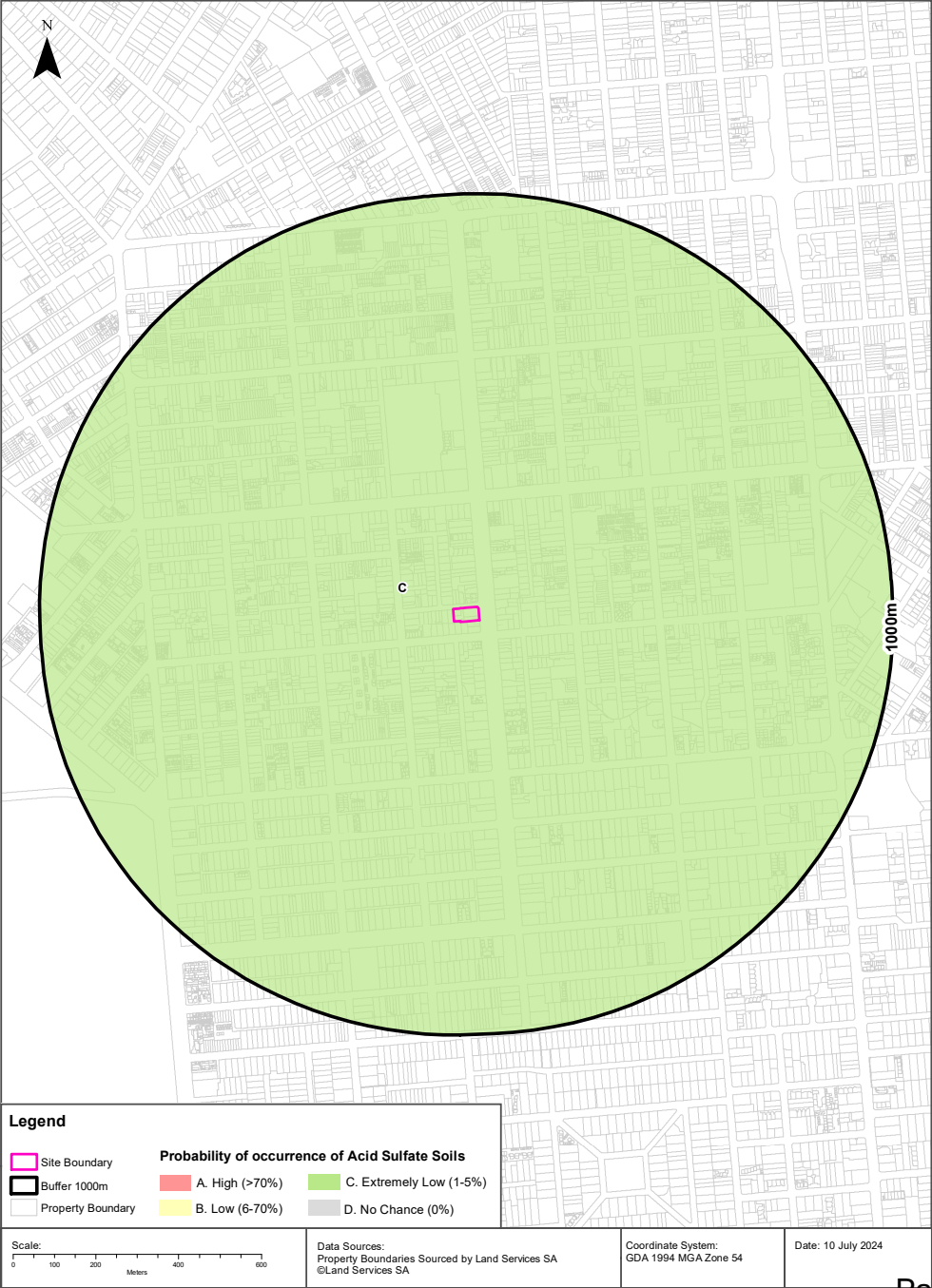
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Atlas of Australian Acid Sulfate Soils

Atlas of Australian Acid Sulfate Soil categories within the dataset buffer:

| Class | Description | Distance | Direction |
|-------|---|----------|-----------|
| C | Extremely low probability of occurrence. 1-5% chance of occurrence with occurrences in small localised areas. | 0m | On-site |

Atlas of Australian Acid Sulfate Soils Data Source: CSIRO
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>





Acid Sulfate Soils

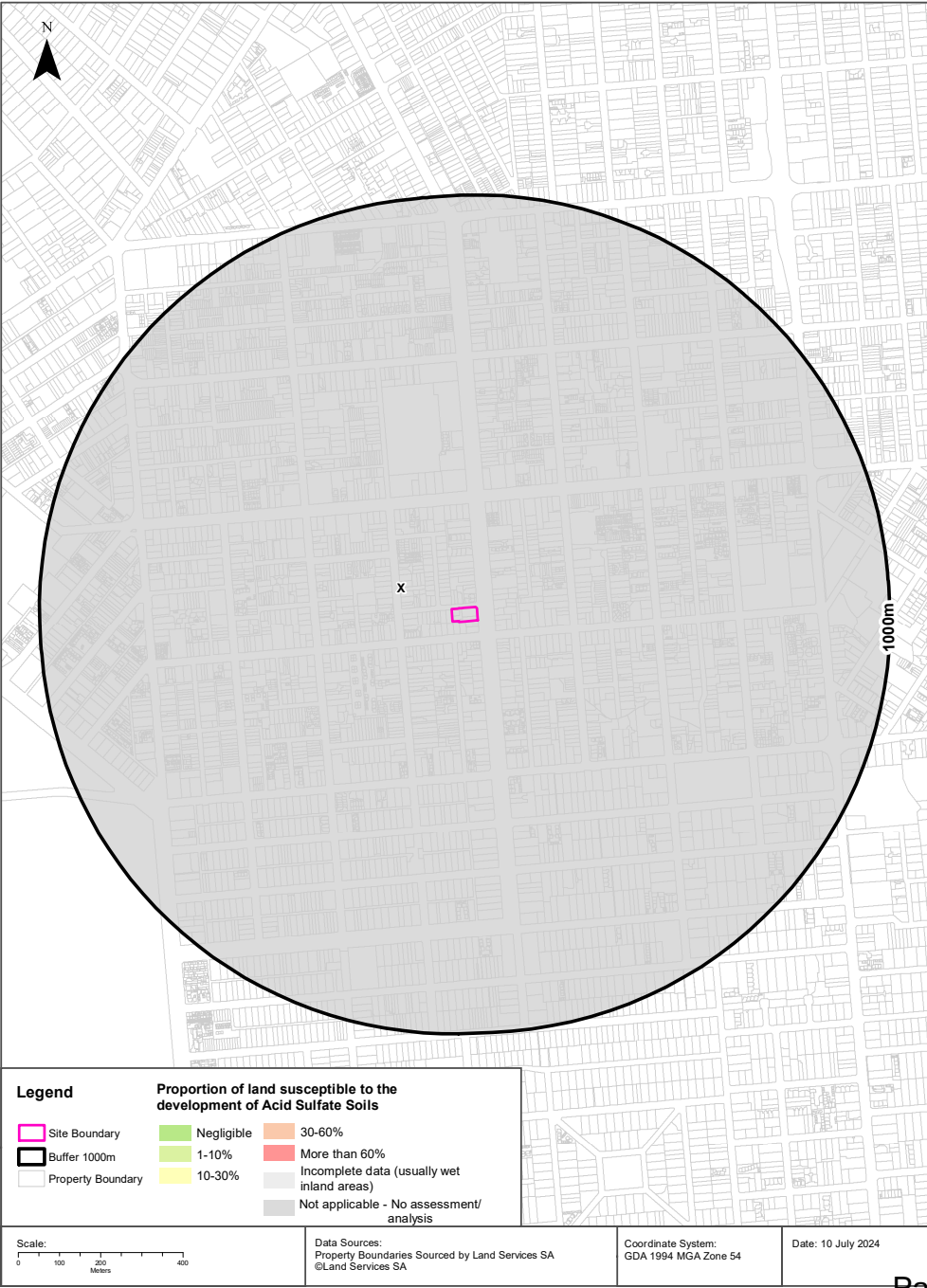
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Acid Sulfate Soil Potential

Acid sulfate soil potential within the dataset buffer:

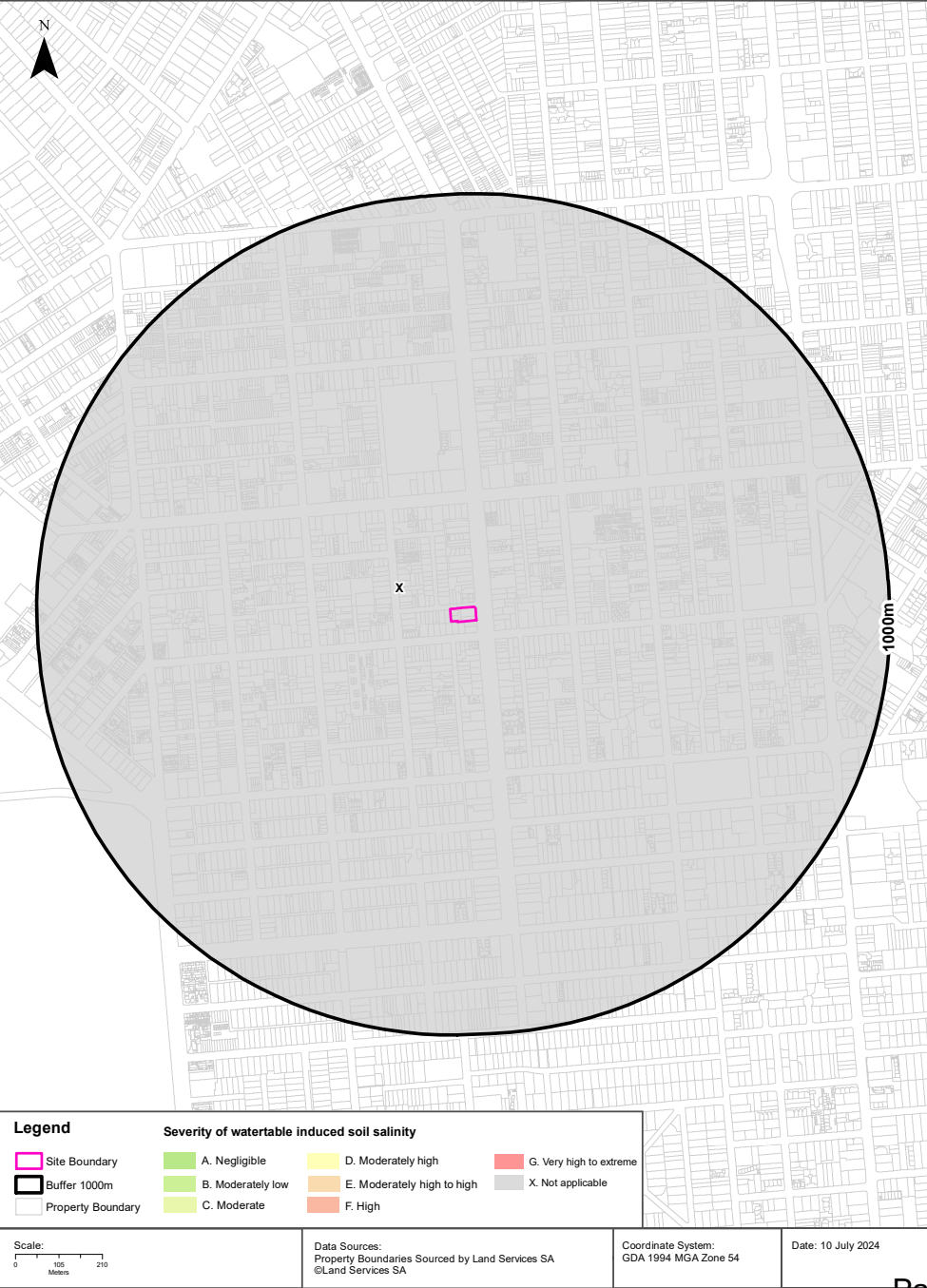
| Map category code | Proportion of land susceptible to the development of acid sulfate soils | Distance | Direction |
|-------------------|---|----------|-----------|
| X | Not applicable - No assessment/analysis undertaken | 0m | On-site |

Acid Sulfate Soils Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>



Soil Salinity - Watertable Induced

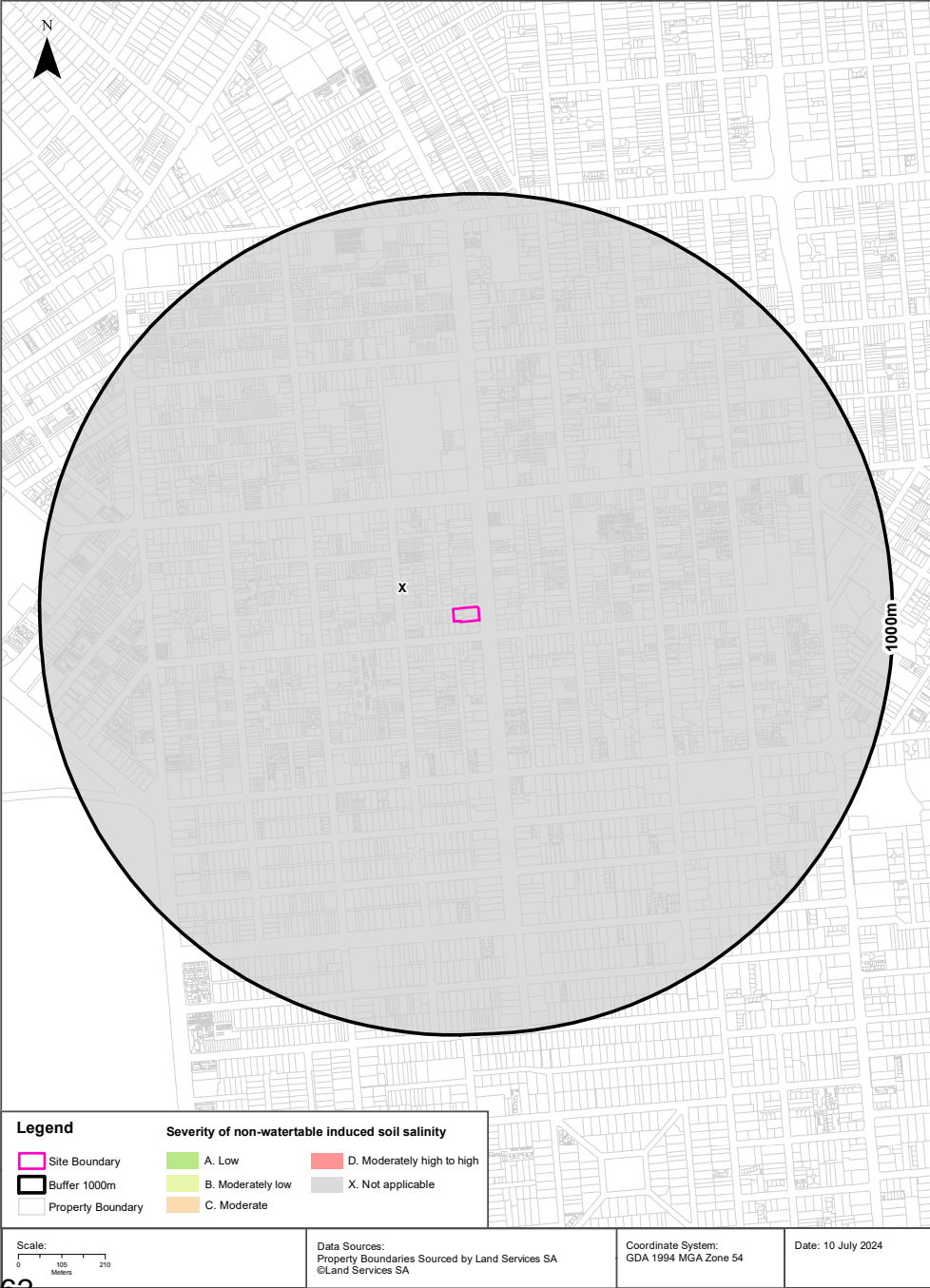
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Soil Salinity - Non-watertable

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Attachment 1





Soil Salinity

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Soil Salinity - Watertable Induced

Watertable induced soil salinity within the dataset buffer:

| Map category code | Severity description | Distance | Direction |
|-------------------|--|----------|-----------|
| X | Not applicable - No assessment/analysis undertaken | 0m | On-site |

Salinity Watertable Induced Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

Soil Salinity - Non-Watertable

Non-watertable soil salinity within the dataset buffer:

| Map category code | Severity description | Surface ECe (dS/m) | Subsoil ECe (dS/m) | Distance | Direction |
|-------------------|--|--------------------|--------------------|----------|-----------|
| X | Not applicable - No assessment/analysis undertaken | | | 0m | On-site |

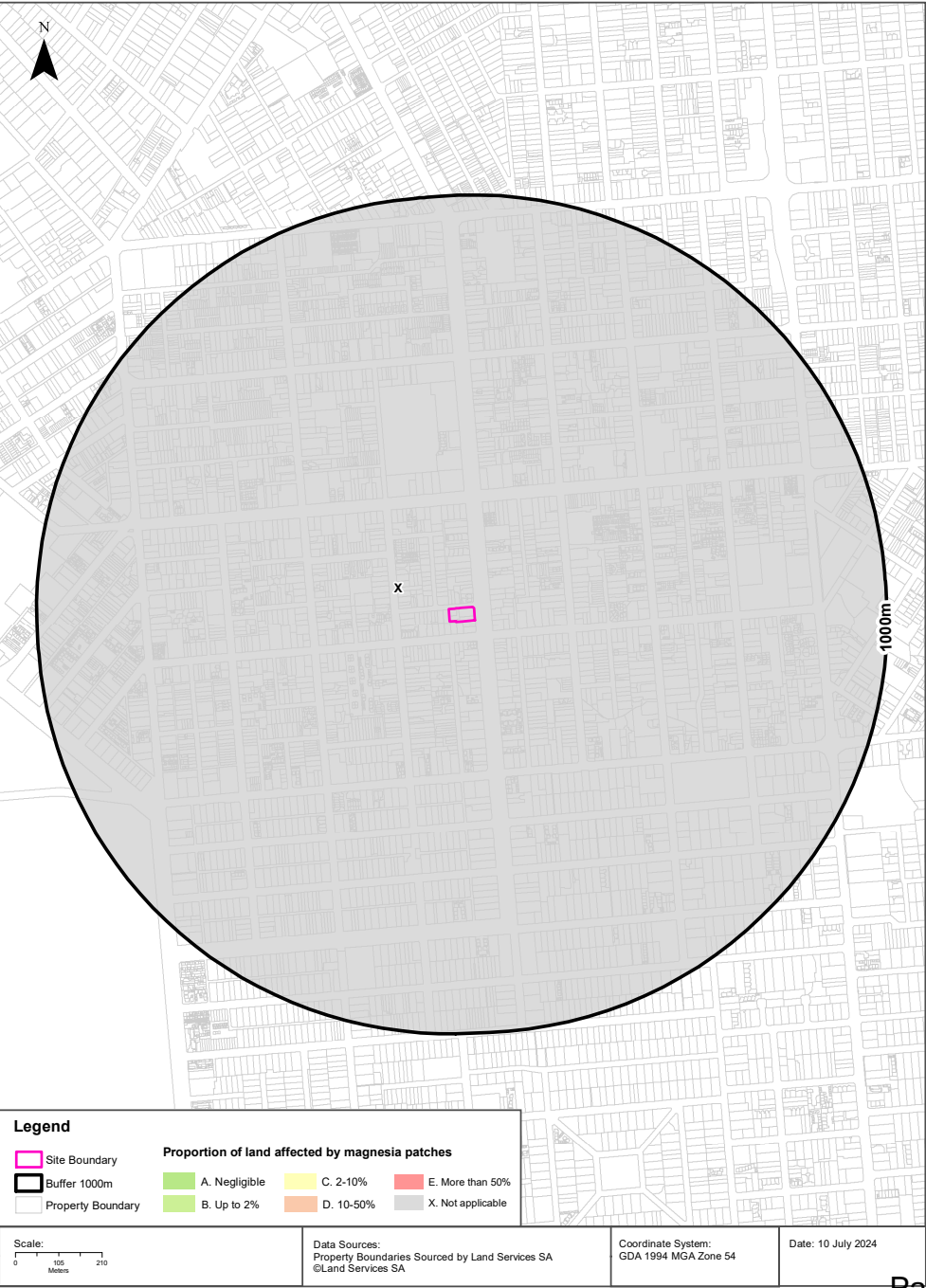
Salinity Non-Watertable Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

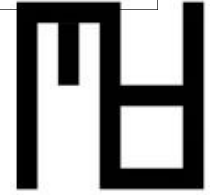
Soil Salinity - Non-Watertable (Magnesia Patches)

Magnesia patches within the dataset buffer:

| Map category code | Proportion of land affected by magnesia patches | Distance | Direction |
|-------------------|--|----------|-----------|
| X | Not applicable - No assessment/analysis undertaken | 0m | On-site |

Salinity Non-Watertable (Magnesia Patches) Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>





Appendix F

Hydrology + Groundwater

DMC-17

SCHEDULE EIGHT—FORM FOUR
GOVERNMENT OF SOUTH AUSTRALIA
Water Resources Act, 1976
DRILLERS WELL CONSTRUCTION REPORT

As the person responsible for the work carried out on this well I advised that it has been completed as described below:

1. PERMIT No. 28072 Official Well No. _____
 2. LOCATION OF WELL:
 Hundred or Pastoral Lease No. ADP 406
 Section 261 Lot No. 25 Site No. _____
 Name of Property NORWOOD
 Permit holder or land occupier F. SETTE
 Postal Address 73 WALLAM ST.
NORWOOD Postcode 5067

3. SUMMARY
 Date work commenced 5/9/92 Date completed 5/9/92
 Work carried out: New well ☒ Existing well, deepen ☐ enlarge ☐ rehabilitate ☐ backfill ☐ (tick appropriate boxes)
 Final Depth 15 m Final standing water level 4.5 m Final yield _____ l/sec.
 Was well abandoned? ☒ If yes, state method _____

6. DRILLING DETAILS If not a drilled well please complete paragraphs 6.2, 9, 10, 11, 12 and 13 as necessary

| 6.1 CONSTRUCTION DETAILS | | | | 6.2 WATER CUT (measurements from natural surface to nearest 0.1 m) | | | |
|--------------------------|--------|------------|---|--|------|------------------------------|--------------------|
| From (m) | To (m) | Diam. (mm) | Drilling Method Cable Tool, Rotary Auger, Etc. | Fluid Used (Air, Water, Mud Type) | Date | Water Cut From (m) To (m) | Standing Level (m) |
| 0 | 15 | 150 | 2.5" PVC | | | 4.5 | 4.5 |
| | | | | | | 7.8 | 9.6 |

7. CASING LEFT IN WELL

| 7.1 DIMENSIONS | | | 7.2 TYPE | 7.3 CASING SIZE | | | | 7.4 CASING PRESSURE CEMENTED | | | | | |
|----------------|--------|---------------------|--|-------------------------------------|--------------------------|------------|-------------------------------------|------------------------------|----------|--------|---------------|----------------|-----------------|
| From (m) | To (m) | Internal Diam. (mm) | Swell Joint, Welded Collar, Steel, Plastic, Etc. | Yes | No | Diam. (mm) | Cemented Yes | No | From (m) | To (m) | Cement (bags) | Water (litres) | Other Additives |
| 0 | 15 | 150 | PVC | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | |
| | | | | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | | | | | |
| | | | | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | | | | | |
| | | | | <input type="checkbox"/> | <input type="checkbox"/> | | <input type="checkbox"/> | <input type="checkbox"/> | | | | | |

8. CONSTRUCTION AT PRODUCTION LEVEL

8.1 METHOD ☐ Open Hole ☒ Screen(s) ☒ Slotted Casing

| Type | From (m) | To (m) | Aperture* (mm) | Inner Diam. (mm) | Outer Diam. (mm) | Material | Trade Name | Completion of Base |
|------|----------|--------|----------------|------------------|------------------|----------|------------|--------------------|
| PVC | 4.5 | 15 | | 100 | 108 | | | OPEN |

8.3 LINER SEAL (packer)

| Material | Depth (m) | Diam. (mm) | Method of Placement | Gravel Packing Mesh Size | From (m) | To (m) |
|----------|-----------|------------|---------------------|--------------------------|----------|--------|
| | | | | | | |

8.4 GRAVEL PACKING

| Material | Depth (m) | Diam. (mm) | Method of Placement | Gravel Packing Mesh Size | From (m) | To (m) |
|----------|-----------|------------|---------------------|--------------------------|----------|--------|
| | | | | | | |

9. IF NOT A DRILLED WELL (i.e. hand dug, etc.)

| Method | Depth (m) | Length (m) | Width (m) | Diam. (m) | Lining Material | From (m) | To (m) |
|--------|-----------|------------|-----------|-----------|-----------------|----------|--------|
| | | | | | | | |

10. DEVELOPMENT State methods and times taken

| Interval Tested From (m) To (m) | Water Level Stabilised at End? | Test Method | Depth of Pump (m) | Discharge Rate l/sec. | Method of Measuring Discharge | No. of Hours Pumped | Draw Down (m) |
|---------------------------------|--------------------------------|-------------|-------------------|-----------------------|-------------------------------|---------------------|---------------|
| | | | | | | | |

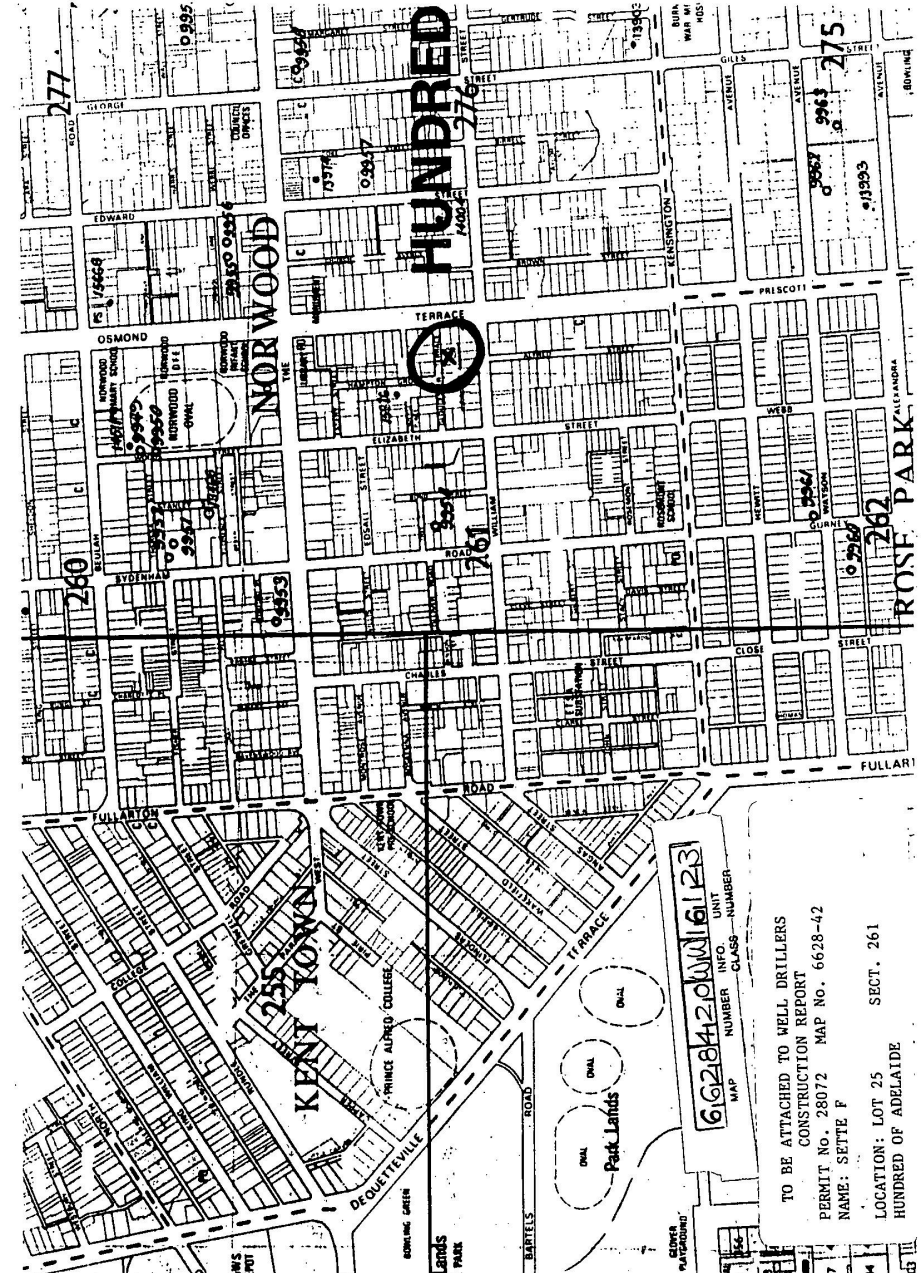
11. PUMP TEST (measurements from natural surface to nearest 0.1 m)

| Interval Tested From (m) To (m) | Water Level Stabilised at End? | Test Method | Depth of Pump (m) | Discharge Rate l/sec. | Method of Measuring Discharge | No. of Hours Pumped | Draw Down (m) |
|---------------------------------|--------------------------------|-------------|-------------------|-----------------------|-------------------------------|---------------------|---------------|
| | | | | | | | |

12. SAMPLES
 The provisions of the Water Resources Act and Regulations thereto require that strata and water samples must be obtained. If any samples have not been obtained state reasons:—

Signature of Licensed Driller [Signature] Date 5/9/92
 Driller to forward this Copy, within 14 days of completion to:
 The Director-General
 Department of Mines and Energy
 191 Greenhill Road
 Parkside, S.A. 5063

STATE PRINT SA H6860 MAP NUMBER INFO CLASS UNIT NUMBER Form 1207





Hydrogeology & Groundwater

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Hydrogeology

Description of aquifers within the dataset buffer:

| Description | Distance | Direction |
|--|----------|-----------|
| Porous, extensive aquifers of low to moderate productivity | 0m | On-site |
| Porous, extensive highly productive aquifers | 546m | West |

Hydrogeology Map of Australia : Commonwealth of Australia (Geoscience Australia)
Creative Commons 4.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/4.0>

Groundwater Aquifers

Groundwater aquifers within the dataset buffer:

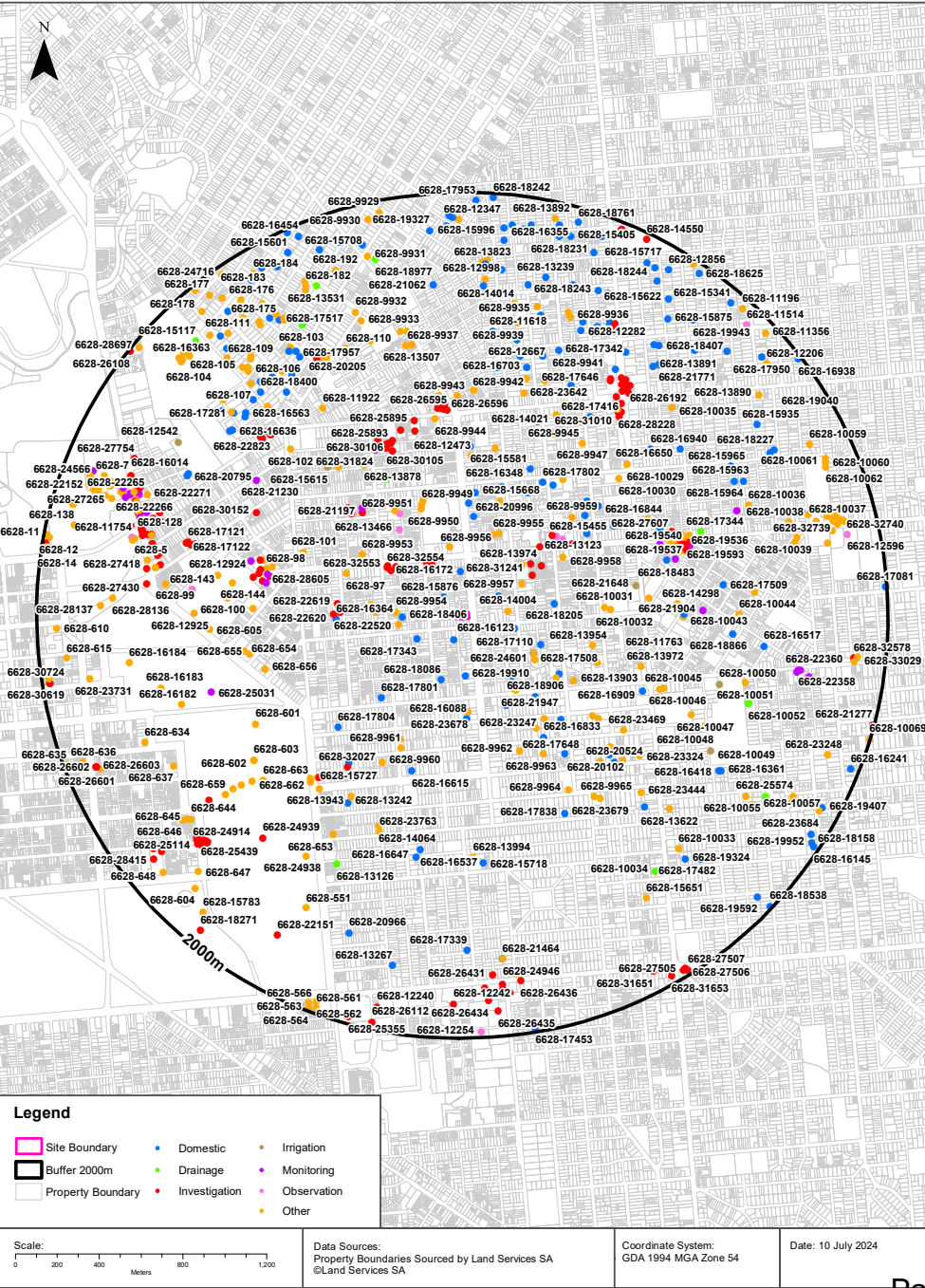
| Aquifer Code | Description | Distance | Direction |
|--------------|---|----------|-----------|
| 20 | Sedimentary Rocks - basins include limestone, often cavernous, sandstone, sand shale and clay | 0m | On-site |

Groundwater Aquifers Data Source: Dept. of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

Drillholes

Drillholes within the dataset buffer:

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|------|------|-------|------|------------|
| 6628-16123 | 63092 | | Operational | Domestic | 1992-09-05 | 15.00 | | 58.00 | 6.70 | 3827 | 6800 | | 4.50 | 4.50 | 53.50 | 0m | On-site |
| 6628-15876 | 62845 | | Operational | Domestic | 1992-01-30 | 11.00 | | 56.00 | | | | | 8.00 | 8.00 | 48.00 | 93m | North West |
| 6628-16218 | 130751 | | | Domestic | | 15.00 | | 56.30 | 6.80 | 556 | 1010 | | 5.00 | 5.00 | 51.30 | 102m | South |
| 6628-15997 | 62966 | | Operational | Domestic | 1992-04-16 | 15.00 | | 59.40 | 7.50 | 866 | 1571 | | 6.30 | 6.30 | 53.10 | 160m | North East |
| 6628-14004 | 60973 | | | | 1987-06-01 | 14.00 | | 60.30 | 7.30 | 972 | 1760 | 0.0000 | 5.00 | 5.00 | 55.30 | 189m | East |
| 6628-16172 | 63141 | | Operational | Domestic | 1992-09-14 | 12.00 | | 57.20 | 7.00 | 902 | 1634 | | 4.50 | 4.50 | 52.70 | 189m | North |
| 6628-23445 | 237455 | | | | 2008-05-19 | 18.00 | | 59.40 | | 905 | 1641 | 1.0000 | 5.70 | 5.70 | 53.70 | 196m | South East |
| 6628-17343 | 151221 | | | Domestic | 1995-08-29 | 14.00 | | 55.40 | 7.20 | 1804 | 3250 | 0.5000 | | | | 210m | South West |
| 6628-18762 | 167541 | | | Domestic | 1997-12-17 | 20.00 | | 61.60 | | 733 | 1330 | | 6.00 | 6.00 | 55.60 | 223m | East |
| 6628-32681 | 383907 | | | Investigation | 2023-09-18 | 7.00 | | | | | | | 4.40 | 4.40 | | 253m | North West |
| 6628-18406 | 164465 | | | Domestic | 1996-05-04 | 24.00 | | 53.00 | | 1412 | 2551 | 0.5000 | | | | 255m | West |
| 6628-32679 | 383905 | | | Investigation | 2023-09-06 | 6.30 | | | | | | | 4.40 | 4.40 | | 259m | North West |
| 6628-32678 | 383904 | | | Investigation | 2023-09-06 | 6.70 | | | | | | | 4.20 | 4.20 | | 269m | North West |



Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------|--------------------------------|---------------|------------|-----------|----------|-------------|------|------|------|---------|-------|-------|-------|------|------------|
| 6628-19910 | 177390 | | | Domestic | 1999-10-13 | 15.50 | | 59.20 | | 1105 | 2000 | 0.5000 | 3.00 | 3.00 | 56.20 | 271m | South |
| 6628-22520 | 215157 | | | | | 5.50 | | 53.50 | | | | | | | | 276m | West |
| 6628-32680 | 383906 | | | Investigation | 2023-09-05 | 7.50 | | | | | | | 4.50 | 4.50 | | 279m | North West |
| 6628-9954 | 56923 | | | | | 59.74 | | 52.40 | | | | | | | | 284m | West |
| 6628-9957 | 56926 | | | | | | | 61.20 | | 614 | 1116 | | | | | 288m | North East |
| 6628-18086 | 162653 | | | Domestic | 1995-12-10 | 7.00 | | 59.10 | | | | | | | | 300m | South |
| 6628-16011 | 62980 | | | | 1992-02-05 | 12.00 | | 56.20 | | | | | 11.00 | 11.00 | 45.20 | 314m | North |
| 6628-13974 | 60943 | | | | 1987-04-24 | 16.00 | 61.00 | | 7.10 | 788 | 1430 | 5.0000 | 5.50 | 5.50 | 55.50 | 342m | North East |
| 6628-32148 | 375005 | | Equipped (pump, windmill, etc) | Domestic | | 18.20 | | 61.50 | | 1138 | 2060 | | 3.50 | 3.50 | 58.00 | 342m | South East |
| 6628-31251 | 355125 | | | Investigation | 2021-04-07 | 21.00 | | 61.70 | | | | | | | | 350m | North East |
| 6628-17508 | 153311 | | | Domestic | 1995-12-05 | 18.00 | | 64.00 | 7.60 | 672 | 1220 | 0.3000 | | | | 351m | South East |
| 6628-27369 | 280383 | | | | | 20.00 | | 64.00 | | 733 | 1330 | 0.5000 | 6.00 | 6.00 | 58.00 | 351m | South East |
| 6628-32555 | 382295 | | | Investigation | 2023-06-28 | 9.50 | | 52.60 | | | | | 4.60 | 4.60 | 48.00 | 356m | North West |
| 6628-17110 | 148653 | | | Domestic | 1995-03-20 | 16.00 | | 64.10 | 7.60 | 750 | 1360 | 0.7000 | | | | 364m | East |
| 6628-32558 | 382301 | | | Investigation | 2023-06-28 | 9.50 | | 52.00 | | | | | 4.20 | 4.20 | 47.80 | 367m | North West |
| 6628-24601 | 245702 | | | | 2008-05-19 | 30.00 | | 62.00 | | 854 | 1550 | 50.0000 | | | | 371m | South East |
| 6628-31241 | 355083 | | Backfilled | Investigation | 2021-04-09 | 21.00 | | 61.40 | | | | | | | | 376m | North East |
| 6628-25800 | 264105 | | | | 2011-06-17 | 15.00 | | 51.20 | | | | | | | | 380m | West |
| 6628-9955 | 56924 | | Operational | Industrial | | 12.19 | | 58.20 | | 1299 | 2349 | | 8.53 | 8.53 | 49.67 | 388m | North |
| 6628-32554 | 382293 | | | Investigation | 2023-06-27 | 12.00 | | 52.00 | | | | | 7.80 | 7.80 | 44.20 | 390m | North West |
| 6628-32553 | 382291 | | | Investigation | 2023-06-27 | 10.50 | | 52.00 | | | | | 7.80 | 7.80 | 44.20 | 393m | North West |
| 6628-9956 | 56925 | | | | | | | 58.40 | | 1313 | 2374 | | | | | 400m | North East |
| 6628-21946 | 202607 | | Backfilled | | 2003-08-12 | 60.00 | | 63.70 | | | | | | | | 401m | South East |
| 6628-24908 | 252812 | | | | | 4.20 | | 50.30 | | | | | | | | 405m | West |
| 6628-21947 | 202608 | | Backfilled | | 2004-08-11 | 60.00 | | 64.00 | | | | | | | | 410m | South East |
| 6628-18205 | 162982 | | | Domestic | 1996-04-30 | 6.50 | | 64.30 | | 783 | 1420 | | 1.50 | 1.50 | 62.80 | 412m | East |
| 6628-31248 | 355119 | | Backfilled | Investigation | 2021-04-08 | 26.00 | | 62.60 | | | | | | | | 413m | North East |
| 6628-25846 | 264437 | | | | 2010-05-24 | 16.00 | | 50.70 | | 530 | 963 | 0.7000 | 10.00 | 10.00 | 40.70 | 420m | West |
| 6628-23678 | 240270 | | | | 2007-10-10 | 33.00 | | 61.80 | | 829 | 1503 | 0.1000 | 15.80 | 15.80 | 46.00 | 449m | South |
| 6628-17481 | 153195 | | Abandoned | Domestic | 1995-09-19 | 30.00 | | 62.00 | | | | | | | | 453m | South East |
| 6628-16516 | 138533 | | | Domestic | 1993-12-15 | 15.00 | | 56.30 | 6.50 | 1373 | 2480 | | 6.00 | 6.00 | 50.30 | 454m | North |
| 6628-18306 | 164201 | | | Investigation | 1996-09-10 | 8.00 | | 61.90 | | | | | 4.52 | 4.52 | 57.38 | 461m | North East |
| 6628-13466 | 60435 | | Capped | Observation | 1985-07-26 | 149.30 | 53.13 | 53.20 | 7.60 | 1500 | 2400 | 1.2500 | 18.84 | 18.91 | 34.29 | 477m | North West |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|------|------------|
| 6628-16088 | 63057 | | Operational | Domestic | 1992-02-23 | 26.00 | | 61.90 | 7.40 | 1178 | 2131 | | 11.00 | 11.00 | 50.90 | 477m | South |
| 6628-18906 | 168520 | | | Domestic | 1998-03-17 | 18.00 | | 65.70 | | 1049 | 1900 | 1.0000 | 10.00 | 10.00 | 55.70 | 491m | South East |
| 6628-23457 | 237468 | | | | 2007-10-26 | 18.00 | | 68.00 | | 987 | 1788 | 0.3000 | 7.00 | 7.00 | 61.00 | 504m | South East |
| 6628-20745 | 188601 | | | Domestic | | 25.50 | | 66.80 | | 871 | 1580 | 0.6000 | 6.00 | 6.00 | 60.80 | 506m | South East |
| 6628-20996 | 194743 | | | Domestic | 2002-12-06 | 20.00 | | 56.00 | | 1188 | 2150 | 0.8000 | 7.50 | 7.50 | 48.50 | 516m | North |
| 6628-9950 | 56919 | | Abandoned | | 1915-01-01 | 79.25 | | 53.60 | | 1228 | 2222 | 0.0400 | 18.29 | 18.29 | 35.31 | 517m | North |
| 6628-17801 | 156081 | | | Domestic | 1996-02-09 | 24.00 | | 56.40 | 7.40 | 1239 | 2240 | 0.5000 | | | | 518m | South West |
| 6628-9958 | 56927 | | | | | | | 63.40 | | 1257 | 2274 | | | | | 521m | North East |
| 6628-9953 | 56922 | | | | | 14.02 | | 51.50 | | 1128 | 2042 | | | | | 526m | North West |
| 6628-17972 | 160116 | | | Observation | 1996-07-29 | 8.00 | | 62.10 | | | | | | | | 535m | North East |
| 6628-9949 | 56918 | | Backfilled | | | 10.97 | 54.00 | | | 771 | 1400 | 2.5300 | 7.31 | 7.31 | 46.69 | 540m | North |
| 6628-17975 | 160119 | | | Observation | 1996-07-30 | 8.00 | | 62.00 | | | | | | | | 541m | North East |
| 6628-18308 | 164203 | | | Investigation | 1996-09-10 | 8.00 | | 61.50 | | | | | 4.16 | 4.16 | 57.34 | 542m | North East |
| 6628-9951 | 56920 | SE HAND DUG WELL | | Observation | | | 51.96 | | 7.70 | 1295 | 2340 | | 4.91 | 4.91 | 47.05 | 543m | North West |
| 6628-17415 | 152899 | | | Recharge | 1995-10-13 | 20.00 | | 57.80 | 7.60 | 827 | 1500 | | 6.60 | 6.60 | 51.20 | 545m | North |
| 6628-22621 | 218968 | GMW 3 | | Investigation | 2006-07-27 | 6.20 | | 50.00 | | | | | 3.60 | 3.60 | 46.40 | 551m | West |
| 6628-17971 | 160115 | | | Observation | 1996-07-18 | 8.00 | | 61.80 | | | | | | | | 554m | North East |
| 6628-14511 | 61480 | NORWOOD OVAL | Operational | Recreational | 1989-03-20 | 42.60 | | 53.20 | | 949 | 1720 | 1.0000 | 16.00 | 16.00 | 37.20 | 555m | North |
| 6628-17973 | 160117 | | | Observation | 1996-07-23 | 8.00 | | 62.30 | | | | | | | | 555m | North East |
| 6628-97 | 47197 | | | | | 11.99 | | 50.00 | | 1028 | 1862 | | 9.25 | 9.25 | 40.75 | 555m | West |
| 6628-22619 | 218966 | GMW 1 | | Investigation | 2006-07-26 | 8.50 | | 50.00 | | | | | 5.20 | 5.20 | 44.80 | 564m | West |
| 6628-9952 | 56921 | NW HAND DUG WELL | Backfilled | | | 42.67 | 52.35 | | | 940 | 1704 | 1.0100 | 9.14 | 9.14 | 43.21 | 564m | North West |
| 6628-18305 | 164200 | | | Investigation | 1996-09-10 | 8.00 | | 61.10 | | | | | 3.72 | 3.72 | 57.38 | 566m | North East |
| 6628-15668 | 62637 | | Operational | Domestic | 1991-10-03 | 12.00 | | 56.00 | 6.70 | 1362 | 2460 | | 6.00 | 6.00 | 50.00 | 567m | North |
| 6628-17974 | 160118 | | | Observation | 1996-07-29 | 8.00 | | 62.10 | | | | | | | | 567m | North East |
| 6628-16364 | 134434 | | | Domestic | 1992-12-17 | 15.00 | | 50.40 | 6.90 | 1010 | 1829 | | | | | 570m | West |
| 6628-13903 | 60872 | | | | 1987-03-05 | 10.70 | 68.00 | | 7.00 | 875 | 1588 | 1.0000 | 3.70 | 3.70 | 64.30 | 580m | South East |
| 6628-22620 | 218967 | GMW 2 | | Investigation | 2006-07-26 | 9.00 | | 50.00 | | | | | 5.20 | 5.20 | 44.80 | 582m | West |
| 6628-18307 | 164202 | | | Investigation | 1996-09-10 | 8.00 | | 63.20 | | | | | 4.07 | 4.07 | 59.13 | 590m | North East |
| 6628-23247 | 235969 | | | | 2007-10-17 | 23.50 | | 66.10 | | 956 | 1732 | 1.0000 | 7.50 | 7.50 | 58.60 | 600m | South East |
| 6628-13954 | 60923 | | | | 1987-04-24 | 12.00 | 69.00 | | | | | 0.1200 | 6.00 | 6.00 | 63.00 | 604m | East |
| 6628-17507 | 153310 | | | Domestic | 1995-12-15 | 18.00 | | 56.90 | 7.40 | 961 | 1740 | 0.5000 | 6.60 | 6.60 | 50.30 | 615m | North |
| 6628-27652 | 284520 | | | | | 11.73 | | 64.20 | | | | | 3.52 | 3.52 | 60.68 | 616m | South East |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|------|------------|
| 6628-17647 | 155101 | | | Domestic | 1996-02-01 | 18.00 | | 58.00 | 7.10 | 1132 | 2050 | 0.5000 | 4.10 | 4.10 | 53.90 | 632m | North East |
| 6628-20247 | 181068 | | | Domestic | 1996-02-29 | 20.00 | | 58.00 | | | | | 5.70 | 5.70 | 52.30 | 632m | North East |
| 6628-23465 | 237481 | | | | 2007-10-31 | 24.00 | | 58.80 | | 894 | 1620 | 0.8000 | 10.00 | 10.00 | 48.80 | 633m | South West |
| 6628-21197 | 196547 | | | Investigation | 2003-06-12 | 8.00 | | 50.90 | | | | | | | | 649m | North West |
| 6628-10031 | 57000 | | Abandoned | | 1960-06-30 | 12.19 | | | | 543 | 987 | | 2.29 | 2.29 | | 650m | East |
| 6628-23764 | 241496 | | | | 2008-02-07 | 17.00 | | 69.90 | | 648 | 1176 | 1.0000 | 6.20 | 6.20 | 63.70 | 650m | East |
| 6628-18482 | 164809 | | Operational | Domestic | 1997-05-26 | 23.00 | | 68.50 | | 832 | 1510 | 0.9000 | 7.00 | 7.00 | 61.50 | 653m | South East |
| 6628-21225 | 196717 | | | Monitoring | 2003-06-12 | 8.00 | | 50.70 | | | | | 5.60 | 5.60 | 45.10 | 671m | North West |
| 6628-16833 | 146796 | | | Domestic | 1994-11-02 | 12.00 | | 66.40 | 7.50 | 1061 | 1920 | 0.3000 | | | | 672m | South East |
| 6628-9959 | 56928 | | | | | 9.75 | 62.00 | | | 1013 | 1834 | 0.4400 | 7.01 | 7.01 | 54.99 | 672m | North East |
| 6628-9961 | 56930 | | | | | 12.19 | | 59.20 | | 1128 | 2042 | | | | | 672m | South West |
| 6628-10032 | 57001 | | Abandoned | | 1960-06-27 | 18.29 | | | | 471 | 856 | | 1.68 | 1.68 | | 677m | East |
| 6628-9962 | 56931 | | | | | 4.27 | | 66.00 | | 785 | 1424 | | 3.50 | 3.50 | 62.50 | 677m | South East |
| 6628-13123 | 60092 | | Operational | Domestic | 1984-12-16 | 22.00 | 64.00 | | 7.80 | 952 | 1724 | 0.4000 | 5.00 | 5.00 | 59.00 | 680m | North East |
| 6628-27521 | 280990 | GW 3 | Backfilled | Investigation | 2014-09-18 | 9.00 | | 50.40 | | | | | | | | 684m | North West |
| 6628-17802 | 156082 | | | Domestic | 1996-02-06 | 18.00 | | 58.60 | 7.50 | 1250 | 2260 | 0.5000 | | | | 710m | North East |
| 6628-27520 | 280989 | GW 1 | Backfilled | Investigation | | 9.00 | | 50.20 | | | | | | | | 711m | North West |
| 6628-17480 | 153194 | | | Drainage | 1995-09-13 | 30.00 | | 50.40 | 7.30 | 1250 | 2260 | 0.5000 | | | | 717m | North West |
| 6628-27519 | 280988 | GW 2 | Backfilled | Investigation | | 9.00 | | 50.20 | | | | | | | | 717m | North West |
| 6628-19433 | 174358 | | | Domestic | 1999-02-25 | 20.00 | | 63.70 | | 1502 | 2710 | 1.0000 | 7.20 | 7.20 | 56.50 | 721m | North East |
| 6628-18661 | 167054 | | | Domestic | 1997-10-18 | 40.00 | | 59.70 | | 1580 | 2850 | 1.5000 | 15.00 | 15.00 | 44.70 | 728m | North East |
| 6628-13993 | 60962 | | Operational | Drainage | 1987-06-30 | 12.00 | | 66.90 | | | | | 8.00 | 8.00 | 58.90 | 735m | South |
| 6628-9963 | 56932 | | | | | | | 66.80 | | | | | | | | 740m | South East |
| 6628-12473 | 59442 | | | | 1983-08-30 | 23.00 | | 54.00 | 7.50 | 1117 | 2022 | 1.0000 | 3.50 | 3.50 | 50.50 | 741m | North |
| 6628-16348 | 134418 | | | Domestic | 1989-10-21 | 12.00 | | 57.50 | | | | | 5.50 | 5.50 | 52.00 | 741m | North East |
| 6628-31315 | 355368 | | | | 2021-04-20 | 27.50 | | 71.30 | | 541 | 983 | 0.4000 | 7.50 | 7.50 | 63.80 | 754m | South East |
| 6628-16615 | 141363 | | | Domestic | 1994-04-22 | 20.00 | | 60.20 | 7.10 | 1322 | 2390 | | | | | 756m | South |
| 6628-17804 | 156084 | | | Domestic | 1996-03-04 | 24.00 | | 54.30 | 7.50 | 1188 | 2150 | 0.5000 | | | | 765m | South West |
| 6628-9960 | 56929 | | | | | 11.89 | | 58.20 | | 1285 | 2324 | | | | | 769m | South West |
| 6628-17967 | 160024 | | | Domestic | 1996-09-04 | 18.00 | | 62.80 | 6.70 | 1895 | 3410 | | | | | 772m | North East |
| 6628-23660 | 240234 | | | | 2008-02-21 | 36.00 | | 59.90 | | 1091 | 1975 | 2.0000 | 19.30 | 19.30 | 40.60 | 777m | North East |
| 6628-101 | 47201 | | | | | 15.24 | | 48.90 | | 1100 | 1992 | | | | | 781m | West |
| 6628-23631 | 240090 | | | | 2008-07-24 | 24.00 | | 71.60 | | | | | 7.00 | 7.00 | 64.60 | 781m | South East |
| 6628-15581 | 62550 | | Operational | Domestic | 1991-05-15 | 15.00 | 53.00 | | 7.60 | 868 | 1574 | 1.0000 | 6.50 | 6.50 | 46.50 | 788m | North |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------|-------------|-----------------------|------------|-----------|----------|-------------|------|------|------|---------|-------|-------|-------|------|------------|
| 6628-9948 | 56917 | | | | | 8.53 | | 54.00 | | 1185 | 2145 | | 3.66 | 3.66 | 50.34 | 788m | North |
| 6628-17648 | 155102 | | | Domestic | 1996-02-09 | 16.00 | | 69.90 | 7.40 | 1016 | 1840 | 0.6000 | | | | 795m | South East |
| 6628-19368 | 174005 | | | Domestic | 1999-02-16 | 18.00 | | 63.80 | | 1945 | 3500 | 0.6000 | 7.20 | 7.20 | 56.60 | 800m | North East |
| 6628-15455 | 62424 | | Operational | Domestic; Drainage | 1987-09-01 | 6.00 | | 65.40 | 7.20 | 899 | 1630 | | 4.50 | 4.50 | 60.90 | 807m | North East |
| 6628-21648 | 199564 | | | Irrigation | 2003-12-13 | 66.00 | | 68.70 | | | | 0.1000 | 5.00 | 5.00 | 63.70 | 810m | East |
| 6628-30107 | 315779 | | Backfilled | Investigation | 2019-02-12 | 8.00 | | 50.00 | | | | | | | | 825m | North West |
| 6628-13878 | 60847 | | | | 1987-02-12 | 13.00 | 49.00 | | 5.80 | 1110 | 2010 | 0.4000 | 3.00 | 3.00 | 46.00 | 828m | North West |
| 6628-11763 | 58732 | | Operational | Domestic; Observation | 1981-09-17 | 5.50 | 72.15 | 71.33 | | | | | 5.85 | 5.03 | 66.30 | 836m | East |
| 6628-30105 | 315777 | | Backfilled | Investigation | 2019-02-12 | 8.00 | | 50.00 | | | | | | | | 851m | North West |
| 6628-13972 | 60941 | | | | 1987-05-11 | 9.14 | 73.00 | | 7.90 | 1608 | 2900 | 1.0000 | 3.04 | 3.04 | 69.96 | 854m | East |
| 6628-15727 | 62696 | | Operational | Domestic | 1991-09-20 | 13.80 | | 56.00 | | | | 0.7500 | 6.10 | 6.10 | 49.90 | 859m | South West |
| 6628-31826 | 369207 | | Backfilled | Monitoring | 2022-03-16 | 8.00 | | 48.20 | | | | | | | | 862m | North West |
| 6628-10042 | 57011 | | | | 1959-11-28 | 27.43 | | 70.00 | | 942 | 1707 | 0.7600 | 4.57 | 4.57 | 65.43 | 864m | East |
| 6628-30106 | 315778 | | Backfilled | Investigation | 2019-02-12 | 8.00 | | 49.90 | | | | | | | | 864m | North West |
| 6628-25893 | 265151 | GW 1 | Backfilled | Investigation | 2011-09-10 | 10.00 | | 49.70 | | | | | 5.50 | 5.50 | 44.20 | 867m | North West |
| 6628-30115 | 315787 | | Backfilled | Investigation | 2019-02-12 | 8.00 | | 49.80 | | | | | | | | 869m | North West |
| 6628-31825 | 369206 | | Backfilled | Monitoring | 2022-03-16 | 8.20 | | 48.20 | | | | | | | | 869m | North West |
| 6628-30419 | 326065 | | | Investigation | 2019-09-27 | 9.50 | | 50.00 | | | | | | | | 871m | North |
| 6628-31824 | 369205 | | Backfilled | Monitoring | 2022-03-16 | 8.20 | | 48.10 | | | | | | | | 871m | North West |
| 6628-32027 | 371276 | | Dry | Investigation | 2022-09-14 | 13.00 | | 56.00 | | | | | | | | 877m | South West |
| 6628-10041 | 57010 | | | | | | | 70.00 | | 728 | 1322 | | | | | 881m | East |
| 6628-14000 | 60969 | | | | 1987-06-01 | 66.00 | | 49.40 | 8.10 | 1083 | 1960 | 1.2600 | 0.00 | 0.00 | 49.40 | 888m | North West |
| 6628-25896 | 265154 | GW 3 | | Investigation | 2011-09-10 | 11.00 | | 50.40 | | | | | 6.50 | 6.50 | 43.90 | 888m | North |
| 6628-16909 | 147594 | | | Domestic | 1995-01-18 | 12.20 | | 72.30 | 6.70 | 605 | 1100 | 1.0000 | | | | 898m | South East |
| 6628-25894 | 265152 | GW 2 | | Investigation | | 12.00 | | 48.30 | | | | | 6.50 | 6.50 | 41.80 | 898m | North West |
| 6628-28605 | 290360 | GW 2 | | | 2016-08-25 | 7.00 | | 45.60 | | | | | 4.97 | 4.97 | 40.63 | 902m | West |
| 6628-28788 | 293880 | MW 1 | | Investigation | 2016-10-22 | 7.50 | 44.05 | 44.11 | | | | | 4.30 | 4.36 | 39.75 | 907m | West |
| 6628-30398 | 325650 | | | Investigation | 2019-09-03 | 11.50 | | 49.60 | | | | | | | | 910m | North |
| 6628-23469 | 237485 | | | | 2008-01-04 | 24.50 | | 74.00 | | 521 | 947 | 1.0000 | 9.00 | 9.00 | 65.00 | 911m | South East |
| 6628-23464 | 237480 | | | | 2007-12-28 | 21.00 | | 73.60 | | 781 | 1416 | 0.5000 | 7.00 | 7.00 | 66.60 | 913m | South East |
| 6628-27638 | 284485 | | | | | 25.00 | | 73.60 | | 1479 | 2670 | 0.3000 | 5.00 | 5.00 | 68.60 | 913m | South East |
| 6628-30500 | 331492 | | | Monitoring | 2019-11-08 | 9.00 | | 44.50 | | | | | 4.60 | 4.60 | 39.90 | 915m | West |
| 6628-30499 | 331491 | | Dry | Monitoring | 2019-11-09 | 9.00 | | 44.40 | | | | | | | | 917m | West |
| 6628-15615 | 62584 | | Operational | Irrigation | 1991-09-12 | 30.40 | | 49.60 | 8.60 | 968 | 1753 | 10.5000 | 13.70 | 13.70 | 35.90 | 923m | North West |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|-----------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|------|------------|
| 6628-23823 | 241712 | | | | 2008-07-04 | 27.00 | | 73.70 | | 803 | 1456 | 0.2000 | 9.00 | 9.00 | 64.70 | 927m | South East |
| 6628-98 | 47198 | | | | | 6.71 | | 44.10 | | 1257 | 2274 | | | | | 928m | West |
| 6628-9944 | 56913 | | Backfilled | | 1914-01-01 | 24.99 | 50.00 | | | 728 | 1322 | 1.2600 | 7.62 | 7.62 | 42.38 | 929m | North |
| 6628-20102 | 178736 | | | Domestic | 1999-11-02 | 20.00 | | 74.00 | | 572 | 1040 | 1.2000 | 12.00 | 12.00 | 62.00 | 935m | South East |
| 6628-28791 | 293883 | MW 4 | | Investigation | 2016-10-22 | 5.00 | 43.80 | 43.90 | | | | | 4.00 | 4.10 | 39.80 | 935m | West |
| 6628-25895 | 265153 | GW 4 | | Investigation | 2011-09-10 | 9.00 | | 49.60 | | | | | | | | 937m | North |
| 6628-13881 | 60850 | | | | 1987-02-03 | 14.50 | 58.00 | | 7.70 | 2036 | 3660 | 0.5000 | 3.00 | 3.00 | 55.00 | 939m | North East |
| 6628-656 | 47745 | SZ 78 | | | | 9.14 | | 49.00 | | 1499 | 2705 | | | | | 944m | West |
| 6628-9964 | 56933 | | | | | 13.72 | | 70.60 | | 528 | 960 | | 9.14 | 9.14 | 61.46 | 946m | South East |
| 6628-28604 | 290359 | SB04/GW 1 | | | 2016-08-25 | 6.00 | | 44.00 | | | | | 5.22 | 5.22 | 38.78 | 949m | West |
| 6628-28792 | 293908 | | Backfilled | Investigation | 2017-04-07 | 9.00 | | 44.00 | | | | | | | | 953m | West |
| 6628-28789 | 293881 | MW 2 | | Investigation | 2016-10-22 | 7.00 | 43.31 | 43.39 | | | | | 4.50 | 4.58 | 38.81 | 956m | West |
| 6628-10030 | 56999 | | | | | 8.53 | | 63.80 | | 2956 | 5284 | | | | | 958m | North East |
| 6628-16844 | 147077 | | | Industrial | 1993-08-03 | 18.40 | | 67.20 | 7.50 | 1457 | 2630 | 1.0000 | | | | 962m | North East |
| 6628-9946 | 56915 | | | | | 6.71 | | 57.80 | | 3684 | 6553 | | 6.10 | 6.10 | 51.70 | 962m | North East |
| 6628-26595 | 272286 | MW 1 | | Investigation | 2012-06-12 | 8.50 | | 50.50 | | | | | 6.60 | 6.60 | 43.90 | 964m | North |
| 6628-28793 | 293909 | | Backfilled | Investigation | 2017-04-07 | 7.50 | | 43.70 | | | | | 4.00 | 4.00 | 39.70 | 964m | West |
| 6628-100 | 47200 | | | | | 10.06 | | 44.10 | | 1499 | 2705 | | | | | 967m | West |
| 6628-17645 | 155099 | | | Domestic | 1996-01-22 | 19.00 | | 55.70 | 7.40 | 2008 | 3610 | 0.5000 | | | | 967m | North |
| 6628-26597 | 272288 | MW 3 | | Investigation | 2012-06-13 | 8.50 | | 50.40 | | | | | 6.60 | 6.60 | 43.80 | 969m | North |
| 6628-10045 | 57014 | | | | 1971-10-23 | 32.00 | | 74.00 | 7.00 | 561 | 1020 | 2.5300 | 3.66 | 3.66 | 70.34 | 970m | East |
| 6628-19595 | 175962 | MW 7 | Backfilled | Monitoring | 1999-02-19 | 8.00 | | 69.20 | | | | | 6.00 | 6.00 | 63.20 | 970m | East |
| 6628-9947 | 56916 | | | | | 10.67 | | 59.30 | | 4270 | 7566 | | | | | 972m | North East |
| 6628-31946 | 370814 | | | Investigation | 2022-07-20 | 9.00 | | 50.20 | | | | | | | | 974m | North |
| 6628-20524 | 184820 | | | Domestic | 2001-02-16 | 28.00 | | 74.70 | | 888 | 1610 | 0.1500 | 9.00 | 9.00 | 65.70 | 975m | South East |
| 6628-18483 | 164810 | | Operational | Domestic | 1997-05-09 | 26.50 | | 70.30 | | 1647 | 2970 | 0.8000 | 7.00 | 7.00 | 63.30 | 977m | East |
| 6628-28790 | 293882 | MW 3 | | Investigation | 2016-10-22 | 7.00 | 43.15 | 43.23 | | | | | 4.20 | 4.28 | 38.95 | 980m | West |
| 6628-31947 | 370815 | | | Investigation | 2022-07-20 | 9.00 | | 50.00 | | | | | | | | 980m | North |
| 6628-26596 | 272287 | MW 2 | | Investigation | 2012-06-12 | 8.50 | | 50.30 | | | | | 6.80 | 6.80 | 43.50 | 983m | North |
| 6628-13943 | 60912 | | | | 1987-03-03 | 11.50 | | 54.30 | | 1390 | 2510 | 0.4400 | 6.00 | 6.00 | 48.30 | 985m | South West |
| 6628-10046 | 57015 | | Backfilled | | | 10.06 | | 74.00 | | 457 | 831 | | | | | 988m | East |
| 6628-22457 | 214167 | GW 2 | | Monitoring | 2005-12-19 | 10.00 | | 70.00 | | | | | 6.00 | 6.00 | 64.00 | 990m | East |
| 6628-31945 | 370813 | | | Investigation | 2022-07-20 | 8.50 | | 50.40 | | | | | | | | 995m | North |
| 6628-14298 | 61267 | | Operational | Recreational | 1988-10-05 | 24.00 | 73.00 | | 7.20 | 1086 | 1966 | 0.7500 | 5.00 | 5.00 | 68.00 | 997m | East |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|--------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|-------|------------|
| 6628-17176 | 149781 | | | Domestic | 1995-04-06 | 18.00 | | 68.50 | 7.10 | 1957 | 3520 | 1.5000 | | | | 999m | North East |
| 6628-23319 | 236154 | | | | 2007-11-17 | 26.00 | | 75.20 | | 715 | 1299 | 0.2500 | 6.00 | 6.00 | 69.20 | 1000m | South East |
| 6628-655 | 47744 | | | | | 12.19 | | 48.10 | | 1885 | 3395 | | | | | 1000m | West |
| 6628-29355 | 306548 | MW 10 | | Investigation | 2017-10-03 | 8.00 | | 53.30 | | | | | 3.70 | 3.70 | 49.60 | 1002m | South West |
| 6628-27608 | 284188 | MW 105 | Backfilled | | | 7.00 | | 69.30 | | | | | | | | 1005m | East |
| 6628-28849 | 294686 | | Backfilled | Monitoring | 2017-04-08 | 7.80 | | 42.90 | | | | | 5.00 | 5.00 | 37.90 | 1005m | West |
| 6628-31148 | 354320 | | Backfilled | Environmental | 2021-02-22 | 9.00 | | 52.70 | | | | | | | | 1005m | North |
| 6628-28488 | 289674 | MW 4 | | | 2016-03-30 | 8.50 | | 53.30 | | | | | 6.00 | 6.00 | 47.30 | 1007m | South West |
| 6628-13242 | 60211 | | Operational | Domestic | 1985-01-15 | 11.00 | 54.00 | | 7.80 | 1272 | 2300 | 0.6300 | 6.70 | 6.70 | 47.30 | 1018m | South West |
| 6628-19596 | 175963 | | | Monitoring | 1999-02-19 | 8.00 | | 70.00 | | | | | 6.00 | 6.00 | 64.00 | 1019m | East |
| 6628-19543 | 175515 | | | Investigation | 1998-07-09 | 8.00 | | 70.00 | | | | | 6.40 | 6.40 | 63.60 | 1020m | East |
| 6628-22458 | 214174 | GW 1 | | Monitoring | 2005-12-19 | 10.00 | | 70.60 | | | | | 6.00 | 6.00 | 64.60 | 1020m | East |
| 6628-27609 | 284189 | MW-D | Backfilled | | | 7.50 | | 69.80 | | | | | | | | 1020m | East |
| 6628-654 | 47743 | | Backfilled | | | 18.90 | | 47.90 | | 1128 | 2042 | | 8.53 | 8.53 | 39.37 | 1022m | West |
| 6628-10043 | 57012 | | Backfilled | | 1914-10-27 | 70.10 | | 73.80 | | | | | 33.53 | 33.53 | 40.27 | 1023m | East |
| 6628-14021 | 60990 | | | | 1987-09-29 | 12.00 | 55.00 | | 7.30 | 2493 | 4470 | 0.5000 | 8.00 | 8.00 | 47.00 | 1026m | North East |
| 6628-27607 | 284187 | MW 104 | Backfilled | | | 7.00 | | 69.40 | | | | | | | | 1026m | East |
| 6628-20104 | 178738 | | | Domestic | 2000-03-09 | 22.00 | | 73.80 | | 849 | 1540 | 1.0000 | 9.00 | 9.00 | 64.80 | 1027m | East |
| 6628-19538 | 175510 | | | Investigation | 1997-12-03 | 7.00 | | 70.00 | | | | | 6.02 | 6.02 | 63.98 | 1030m | East |
| 6628-31147 | 354319 | | Backfilled | Environmental | 2021-02-23 | 7.50 | | 51.00 | | | | | | | | 1030m | North |
| 6628-29530 | 307495 | | | Environmental | 2017-09-13 | 8.00 | | 52.30 | | | | | | | | 1032m | South West |
| 6628-19542 | 175514 | MW-H | Backfilled | Investigation | 1998-07-09 | 8.00 | | 70.00 | | | | | 6.20 | 6.20 | 63.80 | 1033m | East |
| 6628-10029 | 56998 | | Backfilled | | 1914-10-01 | 36.88 | | 63.60 | | 4327 | 7664 | | 21.34 | 21.34 | 42.26 | 1034m | North East |
| 6628-9943 | 56912 | | | | | 7.16 | | 50.00 | 7.00 | 2355 | 4227 | | 5.94 | 5.94 | 44.06 | 1035m | North |
| 6628-27602 | 284182 | MW-L | Backfilled | | | 8.00 | | 70.00 | | | | | | | | 1037m | East |
| 6628-17838 | 156153 | | | Domestic | 1996-02-16 | 14.00 | | 72.20 | 7.50 | 777 | 1410 | | 10.00 | 10.00 | 62.20 | 1040m | South East |
| 6628-27606 | 284186 | MW 6 | Backfilled | | | 8.00 | | 69.80 | | | | | | | | 1040m | East |
| 6628-29532 | 307497 | | | Environmental | 2017-09-13 | 8.00 | | 52.90 | | | | | | | | 1041m | South West |
| 6628-9965 | 56934 | | | | 1920-01-01 | 22.86 | 74.00 | | | | | 0.2600 | | | | 1041m | South East |
| 6628-19539 | 175511 | | | Investigation | 1998-01-09 | 8.50 | | 69.60 | | | | | 6.07 | 6.07 | 63.53 | 1042m | East |
| 6628-29531 | 307496 | | | Environmental | 2017-09-14 | 8.00 | | 52.40 | | | | | | | | 1044m | South West |
| 6628-28490 | 289676 | MW2 2 | | Investigation | 2013-04-26 | 9.00 | | 70.30 | | | | | | | | 1045m | East |
| 6628-23324 | 236160 | | | | 2007-12-12 | 26.00 | | 75.90 | | 517 | 940 | 3.0000 | 6.00 | 6.00 | 69.90 | 1046m | South East |
| 6628-19692 | 176600 | | | Monitoring | 1999-10-06 | 6.90 | | 70.10 | | | | | 6.30 | 6.30 | 63.80 | 1047m | East |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------|------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|------|------|-------|--------|------------|
| 6628-19541 | 175513 | | | Investigation | 1998-07-09 | 8.50 | | 70.10 | | | | | 6.10 | 6.10 | 64.00 | 1049 m | East |
| 6628-27603 | 284183 | MW 1 | Backfilled | | | 7.00 | | 70.50 | | | | | | | | 1049 m | East |
| 6628-19696 | 176604 | | | Monitoring | 1999-10-06 | 7.50 | | 70.00 | | | | | 6.30 | 6.30 | 63.70 | 1050 m | East |
| 6628-19593 | 175960 | | | Monitoring | 1999-02-18 | 8.00 | | 70.50 | | | | | 6.00 | 6.00 | 64.50 | 1051 m | East |
| 6628-19694 | 176602 | MW 202 | Backfilled | Monitoring | 1999-10-06 | 7.50 | | 70.30 | | | | | 6.30 | 6.30 | 64.00 | 1051 m | East |
| 6628-24961 | 253036 | MW 2 | | | 2008-08-14 | 9.00 | | 70.00 | | | | | 6.90 | 6.90 | 63.10 | 1052 m | East |
| 6628-9945 | 56914 | | | | | 6.10 | | 56.40 | | 3955 | 7021 | | | | | 1052 m | North East |
| 6628-27611 | 284191 | MW 5 | Backfilled | | | 2.00 | | 70.00 | | | | | | | | 1053 m | East |
| 6628-14064 | 61033 | | | | 1987-10-12 | 9.00 | 58.00 | | 7.90 | 1328 | 2400 | 1.0000 | 4.00 | 4.00 | 54.00 | 1054 m | South |
| 6628-24960 | 253035 | MW 1 | | Investigation | 2008-08-13 | 8.50 | | 70.00 | | | | | 6.80 | 6.80 | 63.20 | 1055 m | East |
| 6628-19693 | 176601 | | | Monitoring | 1999-10-06 | 7.50 | | 70.20 | | | | | 6.30 | 6.30 | 63.90 | 1057 m | East |
| 6628-31166 | 354352 | | Backfilled | Environmental | 2021-02-22 | 8.50 | | 51.80 | | | | | | | | 1057 m | North |
| 6628-21756 | 200278 | SB10/MW 7A | | Investigation | 2004-01-23 | 7.80 | | 70.00 | | | | | 5.80 | 5.80 | 64.20 | 1058 m | East |
| 6628-24963 | 253038 | MW 5 | | Investigation | 2008-08-13 | 8.50 | | 70.10 | | | | | 6.80 | 6.80 | 63.30 | 1063 m | East |
| 6628-30152 | 315977 | | | Investigation | 2019-04-02 | 20.00 | | 46.00 | | | | | | | | 1064 m | North West |
| 6628-23679 | 240273 | | | | 2008-01-30 | 13.00 | | 74.00 | | 852 | 1545 | 0.7000 | 8.20 | 8.20 | 65.80 | 1065 m | South East |
| 6628-19540 | 175512 | | | Investigation | 1998-07-09 | 8.50 | | 70.50 | | | | | 6.00 | 6.00 | 64.50 | 1066 m | East |
| 6628-19695 | 176603 | | | Monitoring | 1999-10-06 | 7.00 | | 70.50 | | | | | 6.30 | 6.30 | 64.20 | 1066 m | East |
| 6628-24962 | 253037 | MW 4 | | | 2008-08-13 | 8.50 | | 70.00 | | | | | 6.70 | 6.70 | 63.30 | 1068 m | East |
| 6628-24966 | 253041 | MW 9 | | Investigation | 2008-08-12 | 8.50 | | 70.50 | | | | | 6.60 | 6.60 | 63.90 | 1069 m | East |
| 6628-27612 | 284192 | MW 103 | Backfilled | | | 7.50 | | 70.10 | | | | | | | | 1071 m | East |
| 6628-144 | 47244 | | Backfilled | | 1955-01-01 | 39.62 | | 43.60 | | | | 0.7600 | | | | 1075 m | West |
| 6628-9942 | 56911 | | | | | 10.67 | | 54.10 | | 3499 | 6230 | | | | | 1076 m | North |
| 6628-27613 | 284193 | MW 102 | Backfilled | | | 8.00 | | 70.10 | | | | | | | | 1079 m | East |
| 6628-28489 | 289675 | MW2 1 | | Investigation | 2013-04-15 | 9.00 | | 71.00 | | | | | | | | 1080 m | East |
| 6628-23763 | 241495 | | | | 2008-03-12 | 18.00 | | 57.80 | | 1367 | 2470 | 0.8000 | 6.00 | 6.00 | 51.80 | 1081 m | South |
| 6628-601 | 47690 | | Backfilled | | 1934-01-01 | 30.48 | | 49.30 | | 1442 | 2604 | | 7.62 | 7.62 | 41.68 | 1081 m | South West |
| 6628-19536 | 175508 | | | Investigation | 1997-12-02 | 7.60 | | 70.40 | | | | | 5.77 | 5.77 | 64.63 | 1082 m | East |
| 6628-27610 | 284190 | | Backfilled | | | 7.00 | | 71.10 | | | | | | | | 1082 m | East |
| 6628-24964 | 253039 | MW 7 | | Investigation | 2008-08-11 | 8.50 | | 70.40 | | | | | 6.60 | 6.60 | 63.80 | 1087 m | East |
| 6628-27604 | 284184 | MW 101 | Backfilled | | | 7.50 | | 70.40 | | | | | | | | 1089 m | East |
| 6628-145 | 47245 | | Not In Use | | 1971-01-01 | 22.86 | 45.91 | 46.33 | 6.90 | 1245 | 2251 | | 7.53 | 7.95 | 38.38 | 1090 m | West |
| 6628-30628 | 334597 | | | Environmental | 2020-02-18 | 4.00 | | 55.60 | | | | | | | | 1095 m | North East |
| 6628-17416 | 152900 | | Abandoned | Domestic | 1995-09-15 | 25.00 | | 56.20 | | | | 0.1000 | | | | 1096 m | North East |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir | |
|------------|--------------|------------|-------------|--------------------------------------|------------|-----------|----------|-------------|------|------|-------|--------|------|------|-------|--------|------------|------------|
| 6628-24965 | 253040 | MW 8 | | Investigation | 2008-08-12 | 8.50 | | 70.60 | | | | | | 6.50 | 6.50 | 64.10 | 1097 m | East |
| 6628-21755 | 200277 | SB01/MW 3A | | Investigation | 2004-01-21 | 7.50 | | 70.60 | | | | | | | | | 1098 m | East |
| 6628-19537 | 175509 | MW-B | Backfilled | Investigation | 1997-12-03 | 8.00 | | 70.90 | | | | | | 5.67 | 5.67 | 65.23 | 1101 m | East |
| 6628-19594 | 175961 | | | Monitoring | 1999-02-19 | 9.00 | | 70.90 | | | | | | 6.00 | 6.00 | 64.90 | 1101 m | East |
| 6628-102 | 47202 | | | | | | | 46.20 | | 6088 | 10665 | | | | | | 1106 m | North West |
| 6628-27605 | 284185 | MW 106 | Backfilled | | | 7.80 | | 70.80 | | | | | | | | | 1114 m | East |
| 6628-16537 | 138692 | | | Domestic | 1994-02-14 | 21.00 | | 60.80 | 7.20 | 1367 | 2470 | | | | | | 1115 m | South |
| 6628-21904 | 202001 | GW 6 | | Monitoring | 2004-10-14 | 8.00 | | 74.70 | | | | | | 4.83 | 4.83 | 69.87 | 1117 m | East |
| 6628-13994 | 60963 | | | | 1987-07-04 | 24.00 | 66.00 | | 7.70 | 1216 | 2200 | 0.7500 | 6.50 | 6.50 | 59.50 | 1140 m | South | |
| 6628-21230 | 196722 | | | Monitoring | 2003-01-07 | 11.00 | | 44.40 | | | | | | 8.00 | 8.00 | 36.40 | 1141 m | North West |
| 6628-17341 | 151219 | | | | 1995-06-28 | 30.00 | | 54.10 | 7.00 | 2256 | 4050 | 0.7500 | | | | | 1143 m | North |
| 6628-12924 | 59893 | | Operational | Town Water Supply (Public/Municipal) | 1984-02-14 | 27.00 | 43.00 | | 7.70 | 1160 | 2100 | 1.3800 | 5.40 | 5.40 | 37.60 | 1150 m | West | |
| 6628-16647 | 142272 | | | Domestic | 1994-07-11 | 17.00 | | 60.40 | 7.10 | 1541 | 2780 | | | | | | 1152 m | South |
| 6628-10047 | 57016 | | | | | 4.72 | 76.00 | | 6.50 | 645 | 1173 | 0.1500 | 4.57 | 4.57 | 71.43 | 1158 m | South East | |
| 6628-11922 | 58891 | | | General Usage | 1980-05-26 | 87.00 | | 44.20 | | | | 0.9500 | 3.20 | 3.20 | 41.00 | 1161 m | North West | |
| 6628-23642 | 240201 | | | | 2008-05-21 | 21.70 | | 55.50 | | 2443 | 4380 | 0.5000 | 7.00 | 7.00 | 48.50 | 1161 m | North | |
| 6628-16940 | 147711 | | | Domestic | 1995-01-02 | 20.00 | | 64.10 | 7.10 | 2340 | 4200 | | | | | | 1166 m | North East |
| 6628-15718 | 62687 | | Operational | Domestic | 1991-10-19 | 21.80 | | 66.50 | 7.80 | 1173 | 2122 | 0.9000 | 7.90 | 7.90 | 58.60 | 1170 m | South | |
| 6628-23444 | 237454 | | | | 2008-02-27 | 18.00 | | 77.90 | | 826 | 1498 | 0.2300 | 8.00 | 8.00 | 69.90 | 1170 m | South East | |
| 6628-19435 | 174360 | | | Domestic | 1999-03-04 | 24.00 | | 53.10 | | 2216 | 3980 | 1.0000 | 9.60 | 9.60 | 43.50 | 1172 m | North | |
| 6628-17344 | 151222 | | | Drainage | 1995-09-05 | 20.00 | | 72.00 | 7.10 | 2778 | 4970 | 1.0000 | | | | | 1174 m | East |
| 6628-31010 | 353489 | | | Investigation | 2020-11-30 | 7.00 | | 58.70 | | | | | | | | | 1176 m | North East |
| 6628-602 | 47691 | | | | | 15.24 | | 48.60 | | 1985 | 3572 | | | | | | 1177 m | South West |
| 6628-603 | 47692 | | | | | 10.36 | | 48.60 | | 1514 | 2732 | | | | | | 1177 m | South West |
| 6628-605 | 47694 | | Backfilled | | 1968-05-06 | 27.43 | 46.00 | | 7.20 | 1105 | 2000 | 2.2700 | 7.05 | 7.05 | 38.95 | 1177 m | West | |
| 6628-653 | 47742 | | | | | 7.62 | 54.00 | | | 1413 | 2552 | 0.0400 | 7.01 | 7.01 | 46.99 | 1185 m | South West | |
| 6628-18006 | 161247 | | | Domestic | 1996-07-16 | 30.00 | | 56.10 | 7.40 | 2522 | 4520 | 0.5000 | | | | | 1186 m | North East |
| 6628-28228 | 288637 | MW 6 | Backfilled | Investigation | 2016-03-02 | 8.50 | | 58.50 | | | | | | 6.80 | 6.80 | 51.70 | 1191 m | North East |
| 6628-16703 | 145576 | | | Domestic | 1994-10-10 | 17.00 | | 54.70 | 6.90 | 2295 | 4120 | | | | | | 1197 m | North |
| 6628-28975 | 298250 | MW 8 | Backfilled | | 2017-05-15 | 7.00 | | 58.40 | | | | | | 4.90 | 4.90 | 53.50 | 1199 m | North East |
| 6628-663 | 47752 | | Abandoned | | 1957-07-26 | 2.74 | | | | | | | | | | | 1201 m | South West |
| 6628-28974 | 298249 | MW 7 | Backfilled | Investigation | 2017-05-15 | 8.50 | | 59.10 | | | | | | 5.10 | 5.10 | 54.00 | 1202 m | North East |
| 6628-9941 | 56910 | | | | | 5.49 | 56.00 | | | 2727 | 4882 | 0.6300 | 2.44 | 2.44 | 53.56 | 1203 m | North | |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|----------|-------------|--------------------------------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-28226 | 288635 | MW 4 | Backfilled | Investigation | 2016-02-29 | 8.00 | | 57.90 | | | | | | | | 1205 m | North East |
| 6628-29755 | 313479 | | Backfilled | Investigation | 2018-09-10 | 8.00 | | 58.20 | | | | | | | | 1217 m | North East |
| 6628-10048 | 57017 | | Operational | Domestic; Irrigation | | 3.05 | | 78.40 | 6.10 | 345 | 627 | | 1.52 | 1.52 | 76.88 | 1218 m | South East |
| 6628-25031 | 253379 | SBGW 46 | | Monitoring | 2009-12-08 | 18.05 | 47.81 | | | 1005 | 1821 | | 10.12 | 10.12 | 37.69 | 1220 m | West |
| 6628-17509 | 153312 | | | Domestic | 1995-12-20 | 18.00 | | 75.70 | 7.00 | 2415 | 4330 | 1.0000 | | | | 1222 m | East |
| 6628-22823 | 228844 | SB/MW 20 | | Investigation | 2006-07-10 | 12.00 | | 45.30 | | | | | 8.30 | 8.30 | 37.00 | 1226 m | North West |
| 6628-21476 | 198073 | | | Domestic | 2003-06-04 | 20.00 | | 77.80 | | 672 | 1220 | 0.4000 | 7.00 | 7.00 | 70.80 | 1228 m | South East |
| 6628-28227 | 288636 | MW 5 | Backfilled | Investigation | 2016-02-29 | 8.50 | | 58.40 | | | | | 6.10 | 6.10 | 52.30 | 1233 m | North East |
| 6628-10050 | 57019 | | Operational | Irrigation | | 8.53 | 79.00 | | | 471 | 856 | 0.5600 | 6.81 | 6.81 | 72.19 | 1235 m | East |
| 6628-23577 | 239077 | | | | 2007-08-01 | 33.00 | | 78.00 | | 450 | 818 | 1.2500 | 1.00 | 1.00 | 77.00 | 1236 m | South East |
| 6628-23417 | 236957 | MW 21 | | Investigation | 2007-09-19 | 12.00 | | 44.70 | | | | | | | | 1241 m | North West |
| 6628-20195 | 180887 | | | Domestic | 2000-04-01 | 38.50 | | 54.00 | | 1546 | 2790 | 1.0000 | 18.00 | 18.00 | 36.00 | 1243 m | North |
| 6628-29756 | 313480 | | | Investigation | 2018-09-10 | 8.00 | | 58.00 | | | | | | | | 1243 m | North East |
| 6628-662 | 47751 | | Abandoned | | 1957-07-26 | 6.10 | | | | | | | | | | 1244 m | South West |
| 6628-23418 | 236958 | MW 22 | | Investigation | 2007-09-20 | 12.00 | | 45.20 | | | | | | | | 1246 m | North West |
| 6628-12925 | 59894 | | Operational | Town Water Supply (Public/Municipal) | 1984-02-13 | 94.40 | 46.00 | | 7.70 | 1306 | 2360 | 0.7500 | 8.40 | 8.40 | 37.60 | 1249 m | West |
| 6628-17646 | 155100 | | | Domestic | 1996-01-18 | 24.00 | | 56.00 | 7.30 | 2001 | 3600 | 0.5000 | | | | 1252 m | North |
| 6628-23419 | 236959 | MW 23 | | Investigation | 2007-09-21 | 12.00 | | 44.60 | | | | | | | | 1253 m | North West |
| 6628-18866 | 168287 | | | Domestic | 1998-03-16 | 19.00 | | 78.40 | | 2171 | 3900 | 0.5000 | 8.00 | 8.00 | 70.40 | 1260 m | East |
| 6628-143 | 47243 | | Observation | | 1964-01-01 | 13.72 | 36.00 | | 7.50 | 350 | 637 | 2.5000 | | | | 1261 m | West |
| 6628-18702 | 167151 | | | Domestic | 1997-12-09 | 21.00 | | 55.50 | | 2539 | 4550 | | 10.50 | 10.50 | 45.00 | 1270 m | North |
| 6628-16650 | 142275 | | | Domestic | 1994-07-19 | 18.00 | | 65.20 | 7.00 | 2653 | 4750 | | | | | 1274 m | North East |
| 6628-26424 | 270957 | MW 5 | Backfilled | Investigation | 2012-08-06 | 8.00 | | 58.20 | | | | | | | | 1283 m | North East |
| 6628-17125 | 148679 | | | Investigation | 1995-01-29 | 7.70 | | 40.50 | | | | | | | | 1284 m | West |
| 6628-10044 | 57013 | | | | | 9.45 | 78.00 | | | 2670 | 4782 | 0.2500 | 7.62 | 7.62 | 70.38 | 1290 m | East |
| 6628-17123 | 148677 | | | Investigation | 1995-01-29 | 8.00 | | 40.80 | | | | | | | | 1290 m | West |
| 6628-28899 | 295100 | MW 10 | Backfilled | Investigation | 2017-06-19 | 11.00 | | 58.90 | | | | | 7.00 | 7.00 | 51.90 | 1292 m | North East |
| 6628-13507 | 60476 | | | | 1985-11-22 | 7.32 | 47.00 | | | 2008 | 3610 | 0.3800 | 5.49 | 5.49 | 41.51 | 1293 m | North |
| 6628-26197 | 267335 | MW 4 | | Investigation | 2011-10-10 | 12.00 | | 58.70 | | | | | 4.40 | 4.40 | 54.30 | 1293 m | North East |
| 6628-16252 | 131803 | | | Industrial | 1992-12-21 | 23.00 | | 44.90 | 7.00 | 999 | 1810 | | | | | 1295 m | North |
| 6628-661 | 47750 | | Abandoned | | 1957-07-26 | 4.88 | | | | | | | | | | 1296 m | South West |
| 6628-13126 | 60095 | | Operational | Drainage | 1984-11-20 | 8.00 | | 55.20 | 7.50 | 1418 | 2560 | 0.4500 | | | | 1301 m | South West |
| 6628-27353 | 280338 | MW 9 | Backfilled | Investigation | 2014-04-30 | 12.00 | | 59.10 | | | | | 7.11 | 7.11 | 51.99 | 1302 m | North East |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir | |
|------------|--------------|--------|-------------|-------------------------------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|------------|
| 6628-17124 | 148678 | | | Investigation | 1995-01-28 | 10.00 | | 40.50 | | | | | | 4.30 | 4.30 | 36.20 | 1303 m | West |
| 6628-26196 | 267334 | MW 3 | | Investigation | 2011-10-10 | 9.00 | | 58.80 | | | | | | 4.93 | 4.93 | 53.87 | 1307 m | North East |
| 6628-26425 | 270958 | MW 7 | Backfilled | Investigation | 2012-08-06 | 8.00 | | 58.40 | | | | | | | | | 1308 m | North East |
| 6628-10049 | 57018 | | Operational | Irrigation | | 8.08 | 82.00 | | | 700 | 1271 | 0.9700 | 5.33 | 5.33 | 76.67 | 1316 m | South East | |
| 6628-17342 | 151220 | | | Domestic | 1995-06-30 | 30.00 | | 56.00 | 6.90 | 270 | 490 | 0.5000 | | | | 1316 m | North | |
| 6628-12667 | 59636 | | Operational | Domestic | 1984-01-06 | 18.00 | 55.00 | | 7.70 | 2290 | 4110 | 1.0000 | 6.60 | 6.60 | 48.40 | 1318 m | North | |
| 6628-26195 | 267333 | MW 2 | | Investigation | 2011-10-11 | 9.00 | | 58.90 | | | | | | 5.41 | 5.41 | 53.49 | 1318 m | North East |
| 6628-12484 | 59453 | | Operational | Domestic | 1982-12-06 | 21.30 | | 50.60 | | | | 0.3000 | 7.30 | 7.30 | 43.30 | 1319 m | North | |
| 6628-13622 | 60591 | | | | 1986-04-02 | 25.90 | | 79.80 | 7.50 | 559 | 1016 | 1.2500 | 9.10 | 9.10 | 70.70 | 1321 m | South East | |
| 6628-17121 | 148675 | | | Investigation | 1995-01-29 | 6.20 | | 40.20 | | | | | | | | 1321 m | West | |
| 6628-26192 | 267306 | MW 1 | | Investigation | 2011-10-11 | 9.00 | | 59.00 | | | | | | 5.25 | 5.25 | 53.75 | 1324 m | North East |
| 6628-19475 | 174949 | | | Domestic | 1999-03-25 | 22.50 | | 43.20 | | 1083 | 1960 | 2.0000 | 7.50 | 7.50 | 35.70 | 1326 m | North West | |
| 6628-17122 | 148676 | | | Investigation | 1995-01-29 | 7.00 | | 40.10 | | | | | | | | 1328 m | West | |
| 6628-18511 | 165711 | | | Domestic | 1997-06-02 | 27.00 | | 51.90 | | 2267 | 4070 | | 10.00 | 10.00 | 41.90 | 1329 m | North | |
| 6628-26426 | 270959 | MW 7 | Backfilled | Investigation | 2012-08-07 | 9.00 | | 59.20 | | | | | | | | 1331 m | North East | |
| 6628-23320 | 236156 | | | | 2007-12-15 | 20.00 | | 44.00 | | 1412 | 2550 | 1.0000 | 5.00 | 5.00 | 39.00 | 1332 m | North West | |
| 6628-26427 | 270960 | MW 8 | | Investigation | 2012-08-07 | 9.00 | | 59.00 | | | | | | 7.10 | 7.10 | 51.90 | 1336 m | North East |
| 6628-24938 | 252997 | MW 1 | | | 2009-05-20 | 10.00 | | 53.40 | | | | | 5.00 | 5.00 | 48.40 | 1338 m | South West | |
| 6628-12510 | 59479 | | | | 1983-10-07 | 25.00 | | 52.90 | 7.70 | 2426 | 4350 | 1.0000 | 5.00 | 5.00 | 47.90 | 1339 m | North | |
| 6628-660 | 47749 | | Abandoned | | 1957-07-26 | 14.93 | | | | | | | | | | 1340 m | South West | |
| 6628-19323 | 173822 | | | Domestic | 1998-12-07 | 24.00 | | 51.60 | | 2256 | 4050 | | 10.00 | 10.00 | 41.60 | 1343 m | North | |
| 6628-31699 | 365585 | | Backfilled | | | | | 43.40 | | | | | | | | 1352 m | North West | |
| 6628-15937 | 62906 | | Operational | Domestic | 1992-03-02 | 19.00 | | 59.80 | 7.10 | 2187 | 3929 | | 9.60 | 9.60 | 50.20 | 1353 m | North East | |
| 6628-10051 | 57020 | | Backfilled | | 1914-11-25 | 56.69 | | 81.60 | | 1328 | 2400 | | | | | 1355 m | East | |
| 6628-25192 | 255918 | MAR | Operational | Managed Aquifer Recharge (incl ASR) | 2010-04-20 | 168.50 | | 44.50 | | 1101 | 1992 | 4.0000 | 13.00 | 13.00 | 31.50 | 1358 m | North | |
| 6628-32065 | 371571 | | | Environmental | 2022-08-18 | 8.00 | | 43.60 | | | | | | | | 1358 m | North West | |
| 6628-9938 | 56907 | | | | | 7.31 | | 45.50 | | 2041 | 3672 | | 6.10 | 6.10 | 39.40 | 1359 m | North | |
| 6628-110 | 47210 | | | | | | | 44.00 | | 2138 | 3840 | | | | | 1363 m | North West | |
| 6628-31698 | 365584 | | Backfilled | | | | | 43.20 | | | | | | | | 1366 m | North West | |
| 6628-32066 | 371572 | | | Environmental | 2022-08-18 | 8.00 | | 43.40 | | | | | | | | 1366 m | North West | |
| 6628-9937 | 56906 | | | | | 7.62 | | 44.40 | | 2527 | 4530 | | | | | 1367 m | North | |
| 6628-25651 | 262710 | GMW 16 | Backfilled | Investigation | 2010-10-25 | 11.00 | | 43.20 | | | | | 6.80 | 6.80 | 36.40 | 1368 m | North West | |
| 6628-21241 | 196742 | | Backfilled | Monitoring | 2002-11-01 | 6.10 | | 72.20 | | | | | | | | 1369 m | East | |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|--------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-25959 | 266283 | | | | | 12.00 | | 78.50 | | | | | | | | 1369 m | East |
| 6628-16182 | 63151 | | Backfilled | | 1992-09-09 | 92.00 | | 40.80 | | | | | | | | 1373 m | West |
| 6628-21274 | 196903 | | | Domestic | 2003-06-05 | 24.00 | | 43.60 | | 1066 | 1930 | 0.6000 | 9.00 | 9.00 | 34.60 | 1373 m | North West |
| 6628-23268 | 236083 | MW 10 | Abandoned | Investigation | 2007-10-12 | 9.50 | | 43.40 | | | | | | | | 1375 m | North West |
| 6628-16636 | 142115 | | | Domestic | 1993-11-19 | 16.00 | | 42.60 | 7.30 | 337 | 612 | 1.2000 | | | | 1376 m | North West |
| 6628-21004 | 194803 | | | Domestic | 2002-12-16 | 31.50 | | 42.00 | | 783 | 1420 | 1.0000 | 6.00 | 6.00 | 36.00 | 1376 m | North West |
| 6628-32067 | 371573 | | | Environmental | 2022-08-18 | 8.50 | | 43.30 | | | | | | | | 1376 m | North West |
| 6628-10035 | 57004 | | | | | 82.60 | | 62.10 | | 3512 | 6253 | 1.8900 | 27.43 | 27.43 | 34.67 | 1377 m | North East |
| 6628-31697 | 365581 | | Backfilled | | | 9.50 | | 43.40 | | | | | | | | 1377 m | North West |
| 6628-23734 | 241426 | MW 11 | | | 2008-04-07 | 9.50 | | 43.60 | | | | | | | | 1379 m | North West |
| 6628-15709 | 62678 | | Operational | Domestic | 1991-10-17 | 16.70 | | 42.40 | 7.40 | 1178 | 2131 | 2.7500 | 7.10 | 7.10 | 35.30 | 1380 m | North West |
| 6628-25650 | 262709 | GMW 15 | | Investigation | 2010-10-25 | 11.00 | | 42.70 | | | | | | | | 1380 m | North West |
| 6628-24916 | 252868 | MW 14 | Abandoned | Investigation | 2009-09-11 | 12.00 | | 43.30 | | | | | | | | 1381 m | North West |
| 6628-16563 | 140951 | | | Domestic | 1993-11-19 | 16.00 | | 43.60 | | | | 1.2000 | | | | 1383 m | North West |
| 6628-20205 | 180951 | | Backfilled | Monitoring | 2000-05-02 | 10.50 | | 43.10 | | | | 0.0100 | 6.80 | 6.80 | 36.30 | 1384 m | North West |
| 6628-23736 | 241428 | MW 13 | | | 2008-04-07 | 9.50 | | 42.80 | | | | | 8.00 | 8.00 | 34.80 | 1384 m | North West |
| 6628-32068 | 371574 | | | Environmental | 2022-08-18 | 8.50 | | 43.10 | | | | | | | | 1385 m | North West |
| 6628-659 | 47748 | | Abandoned | | 1957-07-26 | 10.36 | | | | | | | | | | 1385 m | South West |
| 6628-23735 | 241427 | MW 12 | Abandoned | | 2008-04-07 | 9.50 | | 42.80 | | | | | | | | 1386 m | North West |
| 6628-9939 | 56908 | | | | | | | 52.50 | | 2085 | 3749 | | | | | 1389 m | North |
| 6628-99 | 47199 | | Backfilled | | 1938-06-01 | 30.33 | | 44.20 | | 785 | 1424 | 3.7900 | 9.14 | 9.14 | 35.06 | 1391 m | West |
| 6628-23267 | 236082 | MW 9 | Backfilled | Investigation | 2007-10-12 | 9.50 | | 43.00 | | | | | 7.60 | 7.60 | 35.40 | 1394 m | North West |
| 6628-24939 | 252998 | MW 2 | | Investigation | 2009-05-20 | 10.00 | | 51.70 | | | | | 7.00 | 7.00 | 44.70 | 1394 m | South West |
| 6628-10052 | 57021 | | Backfilled | Drainage | 1962-09-26 | 6.71 | | 83.00 | | | | | | | | 1396 m | East |
| 6628-10053 | 57022 | | Backfilled | Drainage | 1962-09-26 | 1.83 | | 83.00 | | | | | | | | 1396 m | East |
| 6628-10054 | 57023 | | Backfilled | Drainage | 1962-09-26 | 1.52 | | 83.00 | | | | | | | | 1396 m | East |
| 6628-9940 | 56909 | | | | | 8.23 | | 53.10 | 6.00 | 1832 | 3300 | | 7.62 | 7.62 | 45.48 | 1397 m | North |
| 6628-16418 | 135631 | | | Domestic | 1993-05-07 | 22.80 | | 83.80 | 7.70 | 737 | 1336 | 1.0000 | 5.00 | 5.00 | 78.80 | 1398 m | South East |
| 6628-21860 | 200887 | | | Domestic | 2002-04-22 | 18.00 | | 43.40 | | 1255 | 2270 | 9.0000 | 15.00 | 15.00 | 28.40 | 1401 m | North West |
| 6628-18400 | 164407 | | | Domestic | 1997-02-23 | 16.00 | | 43.00 | | 1255 | 2270 | | | | | 1402 m | North West |
| 6628-16361 | 134431 | | | Domestic | 1993-05-05 | 21.00 | | 83.90 | 7.30 | 1055 | 1911 | 1.5000 | | | | 1407 m | South East |
| 6628-16517 | 138534 | | | Domestic | 1993-12-14 | 18.00 | | 82.90 | 6.20 | 2001 | 3600 | | | | | 1414 m | East |
| 6628-15963 | 62932 | | Operational | Domestic | 1992-03-21 | 18.00 | | 71.00 | 7.20 | 2767 | 4950 | | 4.20 | 4.20 | 66.80 | 1415 m | North East |
| 6628-26863 | 275270 | | | | 2012-11-01 | 18.00 | | 42.00 | | 1608 | 2900 | 1.0000 | 7.50 | 7.50 | 34.50 | 1417 m | North West |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-15957 | 62926 | | Operational | Domestic | 1992-03-17 | 16.00 | | 42.00 | 8.00 | 1184 | 2142 | 2.0000 | 7.00 | 7.00 | 35.00 | 1425 m | North West |
| 6628-17281 | 150965 | | | Domestic | 1995-06-02 | 19.00 | | 42.80 | 7.60 | 1284 | 2320 | 1.1000 | | | | 1425 m | North West |
| 6628-28436 | 289491 | MW 2 | | Investigation | 2016-08-08 | 9.00 | | 43.30 | | | | | 7.50 | 7.50 | 35.80 | 1427 m | West |
| 6628-19666 | 176251 | | | Domestic | 1999-01-07 | 18.00 | | 41.70 | | 1194 | 2160 | 1.0000 | 6.00 | 6.00 | 35.70 | 1428 m | North West |
| 6628-10036 | 57005 | | Abandoned | | | | | 73.40 | | 3113 | 5559 | | | | | 1430 m | East |
| 6628-15965 | 62934 | | Operational | Domestic | 1992-03-23 | 16.60 | | 70.20 | 7.00 | 3534 | 6291 | | 0.00 | 0.00 | 70.20 | 1431 m | North East |
| 6628-23662 | 240237 | | | | 2008-01-16 | 20.00 | | 42.70 | | 1166 | 2110 | 1.2000 | 8.80 | 8.80 | 33.90 | 1434 m | North West |
| 6628-16014 | 62983 | | Abandoned | Domestic | 1992-02-14 | 16.00 | | 42.00 | | 989 | 1791 | | 5.70 | 5.70 | 36.30 | 1437 m | North West |
| 6628-20795 | 190003 | | | Domestic | 2001-12-22 | 22.50 | | 41.80 | | 1005 | 1820 | 1.0000 | 7.00 | 7.00 | 34.80 | 1437 m | North West |
| 6628-20161 | 180561 | | | Domestic | 2000-04-28 | 23.00 | | 42.20 | | 1083 | 1960 | 1.0000 | 6.60 | 6.60 | 35.60 | 1439 m | North West |
| 6628-31548 | 362028 | | Backfilled | Investigation | 2021-10-20 | 20.00 | | 42.50 | | | | | | | | 1439 m | West |
| 6628-12282 | 59251 | | Operational | Domestic | 1983-05-11 | 30.00 | | 56.80 | 7.30 | 1799 | 3240 | 0.7000 | 6.00 | 6.00 | 50.80 | 1445 m | North East |
| 6628-16183 | 63152 | | Backfilled | | 1992-09-09 | 24.00 | | 40.20 | | 1851 | 3332 | 0.5000 | 2.30 | 2.30 | 37.90 | 1447 m | West |
| 6628-31549 | 362031 | | | Investigation | 2021-10-21 | 25.00 | | 42.50 | | | | | | | | 1447 m | West |
| 6628-28435 | 289490 | MW 1 | | | 2016-08-08 | 10.00 | | 43.40 | | | | | 8.00 | 8.00 | 35.40 | 1448 m | West |
| 6628-28437 | 289492 | MW 3 | | | 2016-08-08 | 9.50 | | 43.40 | | | | | 7.50 | 7.50 | 35.90 | 1448 m | West |
| 6628-17857 | 156314 | | | Domestic | 1996-04-29 | 21.00 | | 60.00 | 6.60 | 2278 | 4090 | | | | | 1449 m | North East |
| 6628-19225 | 172290 | | | Domestic | 1998-11-18 | 18.50 | | 74.50 | | 2973 | 5310 | 0.6000 | 7.00 | 7.00 | 67.50 | 1452 m | East |
| 6628-12546 | 59515 | | Operational | Domestic | 1983-11-10 | 22.00 | 54.00 | | 7.60 | 1917 | 3450 | 1.7500 | 5.00 | 5.00 | 49.00 | 1453 m | North |
| 6628-15964 | 62933 | | Operational | Domestic | 1992-03-19 | 16.00 | | 72.20 | 7.30 | 3316 | 5909 | | 4.20 | 4.20 | 68.00 | 1453 m | North East |
| 6628-18388 | 164355 | | | Domestic | 1996-12-04 | 30.00 | | 49.40 | | 2307 | 4140 | 0.5000 | 11.50 | 11.50 | 37.90 | 1458 m | North |
| 6628-9933 | 56902 | | Backfilled | | | 12.19 | | 42.60 | | 1814 | 3268 | | | | | 1460 m | North |
| 6628-17957 | 159794 | | | Domestic | 1996-08-01 | 17.50 | | 41.50 | 7.90 | 1049 | 1900 | 1.0000 | | | | 1461 m | North West |
| 6628-24940 | 252999 | MW 3 | | Investigation | 2009-05-20 | 10.00 | | 48.20 | | | | | 6.00 | 6.00 | 42.20 | 1462 m | South West |
| 6628-107 | 47207 | | | | | 9.14 | | 42.30 | | 1499 | 2705 | | | | | 1464 m | North West |
| 6628-11618 | 58587 | | | | 1978-12-01 | 25.00 | | 52.20 | 7.40 | 2312 | 4150 | | | | | 1465 m | North |
| 6628-19980 | 177814 | | | Domestic | 1999-11-04 | 25.00 | | 62.10 | | 2165 | 3890 | | 9.00 | 9.00 | 53.10 | 1465 m | North East |
| 6628-17371 | 151252 | | | Domestic | 1995-08-03 | 18.00 | | 42.10 | 7.60 | 1143 | 2070 | 1.2500 | | | | 1471 m | North West |
| 6628-28221 | 288586 | MW 3 | | Investigation | 2015-05-14 | 6.50 | | 38.00 | | | | | 4.50 | 4.50 | 33.50 | 1475 m | West |
| 6628-17786 | 156027 | | | Domestic | 1996-02-06 | 15.00 | | 41.20 | 7.33 | 1233 | 2230 | 1.2500 | | | | 1477 m | North West |
| 6628-14014 | 60983 | | | | 1987-09-30 | 29.00 | | 51.70 | 7.90 | 1732 | 3120 | 1.7500 | | | | 1481 m | North |
| 6628-27430 | 280501 | BH18 | Backfilled | Investigation | 2014-08-05 | 20.00 | | 43.40 | | | | | | | | 1481 m | West |
| 6628-17338 | 151216 | | | Domestic | 1995-05-30 | 27.00 | | 56.70 | 7.30 | 1895 | 3410 | 0.8000 | | | | 1483 m | North |
| 6628-27424 | 280495 | BH13 | Backfilled | Investigation | 2014-08-08 | 15.00 | | 41.40 | | | | | | | | 1483 m | West |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-27426 | 280497 | BH17 | | Investigation | 2014-08-06 | 20.00 | | 41.40 | | | | | | | | 1483 m | West |
| 6628-9936 | 56905 | | | | | | | 56.00 | | 1385 | 2502 | | | | | 1486 m | North |
| 6628-10033 | 57002 | | Backfilled | | | 16.76 | | 81.80 | | 585 | 1064 | | 12.50 | 12.50 | 69.30 | 1487 m | South East |
| 6628-103 | 47203 | | Backfilled | | | 25.30 | | 41.20 | 6.40 | 1255 | 2271 | | | | | 1488 m | North West |
| 6628-27425 | 280496 | BH11 | Backfilled | Investigation | 2014-08-04 | 20.00 | | 42.70 | | | | | | | | 1488 m | West |
| 6628-28219 | 288584 | MW 1 | | Investigation | 2015-05-15 | 6.00 | | 38.00 | | | | | 3.80 | 3.80 | 34.20 | 1488 m | West |
| 6628-21771 | 200345 | | | Domestic | 2004-03-16 | 32.00 | | 62.50 | | 1244 | 2250 | 1.0000 | 20.00 | 20.00 | 42.50 | 1489 m | North East |
| 6628-27418 | 280489 | BH10 | | | 2014-07-29 | 20.00 | | 42.40 | | | | | | | | 1490 m | West |
| 6628-9935 | 56904 | | | | | 37.00 | | 52.90 | 8.00 | 2372 | 4255 | | | | | 1491 m | North |
| 6628-17340 | 151218 | | | Domestic | 1995-05-31 | 25.00 | | 57.70 | 7.10 | 1990 | 3580 | 0.8000 | | | | 1492 m | North East |
| 6628-28520 | 289789 | | Backfilled | | 2015-05-18 | 20.50 | | 39.70 | | | | | | | | 1498 m | West |
| 6628-10034 | 57003 | | Abandoned | Drainage | 1960-10-03 | 2.44 | | 80.30 | | | | | | | | 1499 m | South East |
| 6628-28023 | 287377 | | Backfilled | Investigation | 2015-09-25 | 16.50 | | 39.70 | | | | | 14.00 | 14.00 | 25.70 | 1499 m | West |
| 6628-13891 | 60860 | | | | 1987-02-17 | 14.70 | 64.00 | | 7.30 | 2103 | 3780 | 0.5000 | 5.80 | 5.80 | 58.20 | 1501 m | North East |
| 6628-23779 | 241519 | | | | 2008-01-25 | 18.00 | | 42.30 | | | | 1.0000 | | | | 1501 m | North West |
| 6628-18262 | 164080 | | | Recharge | 1997-02-15 | 21.50 | | 55.80 | | 2001 | 3600 | 1.2000 | | | | 1506 m | North |
| 6628-9932 | 56901 | | | | | | | 42.20 | | 985 | 1785 | | | | | 1510 m | North |
| 6628-28220 | 288585 | MW 2 | | Investigation | 2015-05-15 | 5.50 | | 38.00 | | | | | | | | 1512 m | West |
| 6628-28022 | 287376 | | Backfilled | Investigation | 2015-09-17 | 16.00 | | 39.90 | | | | | | | | 1516 m | West |
| 6628-28923 | 295128 | BH 1 | | Investigation | 2017-06-26 | 15.00 | | 58.80 | | | | | | | | 1517 m | North East |
| 6628-106 | 47206 | | | | | 9.75 | | 41.60 | | 1832 | 3300 | | | | | 1518 m | North West |
| 6628-637 | 47726 | | | | | 10.36 | | 49.00 | | 5155 | 9081 | | | | | 1521 m | South West |
| 6628-15782 | 62751 | | | | 1991-12-05 | 16.20 | | 41.40 | 7.90 | 1138 | 2060 | 1.2500 | 6.00 | 6.00 | 35.40 | 1531 m | North West |
| 6628-20239 | 181060 | | | Domestic | 2000-06-23 | 43.00 | | 58.30 | 7.00 | 1930 | 3460 | 2.0000 | 20.00 | 20.00 | 38.30 | 1531 m | North East |
| 6628-27759 | 285068 | BH 34 | Backfilled | Investigation | 2015-03-25 | 15.00 | | 42.00 | | | | | 4.00 | 4.00 | 38.00 | 1534 m | West |
| 6628-27427 | 280498 | BH15 | | Investigation | 2014-07-30 | 20.00 | | 40.00 | | | | | | | | 1539 m | West |
| 6628-128 | 47228 | ROMMILLY CHAMBER | | | | | | | | | | | | | | 1542 m | West |
| 6628-28922 | 295127 | BH 2 | | Investigation | 2017-06-27 | 15.00 | | 58.80 | | | | | | | | 1542 m | North East |
| 6628-27751 | 285060 | | | Investigation | 2015-03-25 | 10.00 | | 39.30 | | | | | | | | 1543 m | West |
| 6628-19324 | 173823 | | | Domestic | 1998-12-12 | 27.00 | | 84.00 | | 683 | 1240 | | 12.00 | 12.00 | 72.00 | 1545 m | South East |
| 6628-27750 | 285059 | | | Investigation | 2015-03-25 | 15.00 | | 39.70 | | | | | | | | 1545 m | West |
| 6628-105 | 47205 | | | | | 15.24 | | 41.30 | | 1370 | 2476 | | 10.97 | 10.97 | 30.33 | 1549 m | North West |
| 6628-12273 | 59242 | | Operational | Domestic | 1983-05-02 | 33.52 | | 58.30 | 7.30 | 1832 | 3300 | 1.0000 | 6.00 | 6.00 | 52.30 | 1549 m | North East |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|---------|-------------|--------------------------------------|------------|-----------|----------|-------------|------|------|------|----------|-------|-------|-------|--------|------------|
| 6628-20456 | 184035 | | | Domestic | 2001-01-05 | 22.00 | | 61.90 | | 2008 | 3610 | 0.8000 | 9.00 | 9.00 | 52.90 | 1551 m | North East |
| 6628-23815 | 241702 | | | | 2008-06-19 | 20.50 | | 40.00 | | 1127 | 2041 | 1.0000 | 5.00 | 5.00 | 35.00 | 1551 m | North West |
| 6628-28636 | 290474 | MB 2 | Backfilled | Monitoring | 2016-07-22 | 7.80 | | 38.00 | | | | | | | | 1551 m | West |
| 6628-27428 | 280499 | BH14 | | Investigation | 2014-08-03 | 25.00 | | 38.90 | | | | | | | | 1553 m | West |
| 6628-109 | 47209 | | | | | 7.62 | | 40.50 | | 1471 | 2656 | | | | | 1554 m | North West |
| 6628-12542 | 59511 | | Operational | Irrigation | 1983-11-11 | 15.00 | 40.00 | | | | | 1.2600 | 7.60 | 7.60 | 32.40 | 1554 m | North West |
| 6628-15716 | 62685 | | Operational | Domestic | 1991-11-05 | 19.00 | | 48.00 | 7.30 | 1984 | 3570 | 132.0000 | 12.00 | 12.00 | 36.00 | 1554 m | North |
| 6628-551 | 47648 | | Unknown | | 1949-01-01 | 141.73 | | 55.80 | | 1671 | 3013 | 1.8900 | 17.07 | 17.07 | 38.73 | 1555 m | South West |
| 6628-26029 | 266488 | | | Drainage | 2011-04-07 | 30.50 | | 41.80 | | 970 | 1757 | 1.0000 | 5.80 | 5.80 | 36.00 | 1557 m | North West |
| 6628-28638 | 290476 | CH 1535 | | Monitoring | 2016-10-27 | 10.80 | | 38.00 | | | | | | | | 1557 m | West |
| 6628-18407 | 164466 | | | Domestic | 1996-12-18 | 30.00 | | 62.00 | | 2036 | 3660 | 0.5000 | 9.00 | 9.00 | 53.00 | 1563 m | North East |
| 6628-23323 | 236159 | | | | 2007-12-07 | 20.00 | | 40.30 | | 1222 | 2210 | 2.0000 | 6.00 | 6.00 | 34.30 | 1566 m | North West |
| 6628-21062 | 195348 | | | Domestic | 2002-11-27 | 19.50 | | 45.20 | | 1917 | 3450 | 0.1000 | 7.30 | 7.30 | 37.90 | 1568 m | North |
| 6628-27752 | 285061 | | | Investigation | 2015-03-26 | 20.00 | | 37.90 | | | | | | | | 1570 m | West |
| 6628-10055 | 57024 | | Backfilled | | | 21.34 | | 86.50 | | 399 | 725 | | | | | 1571 m | South East |
| 6628-28635 | 290473 | CH 1490 | | Monitoring | 2016-10-27 | 13.30 | | 37.20 | | | | | | | | 1573 m | West |
| 6628-5 | 47105 | | | | 1881-12-12 | 125.27 | | 41.90 | | 1671 | 3013 | | 13.11 | 13.11 | 28.79 | 1573 m | West |
| 6628-16184 | 63153 | | Operational | Town Water Supply (Public/Municipal) | 1992-09-10 | 20.00 | | 38.00 | 7.50 | 1765 | 3181 | 1.6000 | 1.70 | 1.70 | 36.30 | 1574 m | West |
| 6628-22271 | 206478 | MW 12 | | | 2005-08-12 | 6.00 | | 37.10 | | | | | | | | 1576 m | West |
| 6628-28135 | 288422 | BH 51 | Backfilled | | | 34.65 | | 42.00 | | | | | | | | 1579 m | West |
| 6628-17339 | 151217 | | | Domestic | 1995-06-27 | 20.00 | | 67.20 | | | | | | | | 1581 m | South |
| 6628-15651 | 62620 | | | | 1990-12-04 | 8.50 | | 81.10 | | | | | 8.00 | 8.00 | 73.10 | 1582 m | South East |
| 6628-20966 | 194429 | | | Domestic | 2002-10-29 | 24.00 | | 57.60 | 7.08 | 2019 | 3630 | 0.7000 | 15.00 | 15.00 | 42.60 | 1582 m | South |
| 6628-17800 | 156080 | | | Domestic | 1996-03-21 | 17.50 | | 86.70 | 6.50 | 2738 | 4900 | | | | | 1583 m | East |
| 6628-27420 | 280491 | BH6 | | Investigation | 2014-07-27 | 25.00 | | 37.10 | | | | | | | | 1583 m | West |
| 6628-16358 | 134428 | | | Domestic | 1993-06-01 | 9.00 | | 51.70 | 7.10 | 1827 | 3292 | | | | | 1585 m | North |
| 6628-644 | 47733 | | | | 1963-11-12 | 30.17 | | | | | | | 3.35 | 3.35 | | 1585 m | South West |
| 6628-11754 | 58723 | | Abandoned | Observation | | 5.25 | 39.23 | | 7.80 | 1552 | 2800 | | 5.82 | 5.82 | 33.41 | 1587 m | West |
| 6628-22359 | 209742 | GW 2 | | Monitoring | 2006-01-17 | 8.50 | | 86.10 | | | | | 5.54 | 5.54 | 80.56 | 1587 m | East |
| 6628-10038 | 57007 | | | | 1967-08-04 | 57.30 | | 78.00 | 6.70 | 3030 | 5413 | 2.5300 | | | | 1588 m | East |
| 6628-12998 | 59967 | | | | 1983-03-24 | 9.00 | 48.00 | | 7.10 | 2323 | 4170 | 0.5000 | 3.00 | 3.00 | 45.00 | 1588 m | North |
| 6628-27749 | 285058 | | | Investigation | 2015-03-23 | 15.00 | | 37.20 | | | | | | | | 1588 m | West |
| 6628-27756 | 285065 | | | Investigation | 2015-03-22 | 20.00 | | 37.20 | | | | | | | | 1590 m | West |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|---------|----------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|------|------|-------|--------|------------|
| 6628-28634 | 290472 | CH 1460 | Decommissioned | | 2016-11-29 | 14.30 | | 37.20 | | | | | | | | 1590 m | West |
| 6628-22358 | 209741 | GW 1 | | Monitoring | 2006-01-17 | 9.00 | | 86.30 | | | | | | | | 1592 m | East |
| 6628-24914 | 252828 | GMW 1 | | Investigation | 2009-09-29 | 10.00 | | 50.50 | | | | | 8.00 | 8.00 | 42.50 | 1594 m | South West |
| 6628-10040 | 57009 | | Backfilled | | 1965-07-21 | 3.05 | | | | | | | | | | 1595 m | East |
| 6628-17482 | 153196 | | | Domestic | 1995-09-21 | 24.00 | | 85.70 | 7.40 | 827 | 1500 | 0.5000 | | | | 1596 m | South East |
| 6628-25441 | 259555 | MW 4 | | Investigation | 2009-11-25 | 8.00 | | 50.40 | | | | | 2.04 | 2.04 | 48.36 | 1596 m | South West |
| 6628-30821 | 345648 | | | Investigation | 2020-08-19 | 6.70 | | 50.10 | | | | | 2.19 | 2.19 | 47.91 | 1596 m | South West |
| 6628-645 | 47734 | | | | 1963-11-20 | 18.29 | | | | | | | | | | 1598 m | South West |
| 6628-27421 | 280492 | BH8 | | Investigation | | 25.00 | | 37.10 | | | | | | | | 1599 m | West |
| 6628-634 | 47723 | | | | | | | 49.80 | | 1160 | 2100 | | | | | 1600 m | West |
| 6628-22360 | 209743 | GW 3 | | Monitoring | 2006-01-17 | 9.00 | | 86.60 | | | | | 5.69 | 5.69 | 80.91 | 1601 m | East |
| 6628-25440 | 259554 | MW 3 | | Investigation | 2009-11-24 | 8.00 | | 50.30 | | | | | 1.93 | 1.93 | 48.37 | 1601 m | South West |
| 6628-27419 | 280490 | BH9 | Decommissioned | Investigation | 2014-07-28 | 15.00 | | 39.00 | | | | | | | | 1602 m | West |
| 6628-25442 | 259556 | MW 5 | | Investigation | 2009-11-25 | 8.00 | | 50.40 | | | | | 1.96 | 1.96 | 48.44 | 1604 m | South West |
| 6628-25443 | 259557 | MW 6 | | Investigation | 2009-11-25 | 8.00 | | 50.30 | | | | | 2.11 | 2.11 | 48.19 | 1604 m | South West |
| 6628-28637 | 290475 | CH 1430 | | Monitoring | 2016-10-31 | 13.30 | | 36.50 | | | | | | | | 1606 m | West |
| 6628-10039 | 57008 | | Backfilled | | 1965-07-21 | 4.27 | | | | | | | | | | 1608 m | East |
| 6628-25439 | 259553 | MW 2 | | Investigation | 2009-11-23 | 8.00 | | 50.20 | | | | | 2.27 | 2.27 | 47.93 | 1610 m | South West |
| 6628-22270 | 206477 | MW 11 | | Monitoring | 2005-08-12 | 6.00 | | 36.00 | | | | | | | | 1611 m | West |
| 6628-28138 | 288426 | BH 23 | | | 2015-03-18 | 15.00 | | 36.10 | | | | | | | | 1613 m | West |
| 6628-27755 | 285064 | | | Investigation | 2015-03-19 | 20.00 | | 36.20 | | | | | | | | 1614 m | West |
| 6628-25117 | 254199 | MW 13 | | Investigation | 2010-02-19 | 8.00 | | 50.00 | | | | | 2.20 | 2.20 | 47.80 | 1615 m | South West |
| 6628-25444 | 259558 | MW 7 | | Investigation | 2009-11-26 | 8.00 | | 50.30 | | | | | 2.01 | 2.01 | 48.29 | 1615 m | South West |
| 6628-22267 | 206474 | SB 6 | | Monitoring | 2005-08-12 | 5.70 | | 36.00 | | | | | | | | 1617 m | West |
| 6628-18707 | 167339 | | | | | 9.00 | | 40.40 | | | | | | | | 1618 m | North West |
| 6628-27753 | 285062 | | | Investigation | 2015-03-17 | 9.00 | | 36.10 | | | | | | | | 1618 m | West |
| 6628-10056 | 57025 | | | | | 8.84 | | 87.60 | 6.70 | 415 | 755 | | 3.35 | 3.35 | 84.25 | 1619 m | South East |
| 6628-22269 | 206476 | MW 10 | | Monitoring | 2005-08-11 | 6.00 | | 35.90 | | | | | | | | 1619 m | West |
| 6628-27429 | 280500 | BH7 | | | 2014-08-11 | 20.00 | | 36.00 | | | | | | | | 1619 m | West |
| 6628-30819 | 345646 | | | Investigation | 2020-08-19 | 6.50 | | 50.00 | | | | | 2.22 | 2.22 | 47.78 | 1620 m | South West |
| 6628-25116 | 254198 | MW 12 | | Investigation | 2010-02-19 | 8.00 | | 50.00 | | | | | 2.25 | 2.25 | 47.75 | 1621 m | South West |
| 6628-27423 | 280494 | BH4 | Backfilled | Investigation | | 10.00 | | 35.80 | | | | | | | | 1622 m | West |
| 6628-646 | 47735 | | | | 1963-11-22 | 18.29 | | | | | | | | | | 1622 m | South West |
| 6628-25445 | 259559 | MW 8 | | Investigation | 2009-11-26 | 8.00 | | 50.20 | | | | | 2.12 | 2.12 | 48.08 | 1623 m | South West |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|---------------------------------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-25446 | 259560 | MW 9 | | Investigation | 2009-11-26 | 8.00 | | 50.20 | | | | | 5.20 | 5.20 | 45.00 | 1625 m | South West |
| 6628-27639 | 284488 | | | | 2014-10-03 | 27.00 | | 40.40 | | 998 | 1807 | 0.3000 | 6.50 | 6.50 | 33.90 | 1625 m | North West |
| 6628-27760 | 285069 | BH 20 | Backfilled | Investigation | 2015-03-17 | 11.00 | | 35.80 | | | | | 3.00 | 3.00 | 32.80 | 1625 m | West |
| 6628-30818 | 345645 | | | Investigation | 2020-08-19 | 6.50 | | 50.20 | | | | | 2.15 | 2.15 | 48.05 | 1625 m | South West |
| 6628-22268 | 206475 | MW 9 | | Monitoring | 2005-08-11 | 6.00 | | 35.80 | | | | | | | | 1627 m | West |
| 6628-25115 | 254197 | MW 11 | | Investigation | 2010-02-18 | 8.00 | | 50.00 | | | | | 2.25 | 2.25 | 47.75 | 1627 m | South West |
| 6628-17517 | 153320 | | | Domestic | 1995-12-09 | 12.00 | | 40.10 | 6.80 | 1261 | 2280 | | | | | 1628 m | North West |
| 6628-19322 | 173821 | | | Domestic | 1998-11-24 | 21.00 | | 72.80 | | 2944 | 5260 | | 7.50 | 7.50 | 65.30 | 1629 m | North East |
| 6628-23777 | 241517 | | | | 2008-01-24 | 24.00 | | 40.40 | | | | 0.7000 | | | | 1631 m | North West |
| 6628-21464 | 198013 | | | Domestic | 2003-07-16 | 20.00 | | 69.90 | | 1878 | 3380 | 0.6700 | 9.80 | 9.80 | 60.10 | 1633 m | South |
| 6628-13239 | 60208 | | Operational | Domestic | 1985-01-25 | 28.00 | | 52.80 | 7.50 | 1401 | 2530 | | 10.00 | 10.00 | 42.80 | 1634 m | North |
| 6628-14351 | 61320 | | Operational | Domestic | 1988-10-20 | 15.20 | 49.00 | | 7.50 | 1867 | 3360 | 1.0000 | 8.90 | 8.90 | 40.10 | 1635 m | North |
| 6628-24946 | 253020 | | | | 2009-09-24 | 60.00 | | 69.90 | | 660 | 1199 | 3.5000 | 28.00 | 28.00 | 41.90 | 1635 m | South |
| 6628-19328 | 173827 | | | Domestic | 1999-01-19 | 25.00 | | 50.00 | | 1631 | 2940 | 1.0000 | 12.60 | 12.60 | 37.40 | 1636 m | North |
| 6628-25114 | 254196 | MW 10 | | Investigation | 2010-02-19 | 8.00 | | 50.00 | | | | | 2.20 | 2.20 | 47.80 | 1637 m | South West |
| 6628-10057 | 57026 | | | | 1914-01-01 | 21.34 | | 87.90 | 6.70 | 415 | 755 | | 3.40 | 3.40 | 84.50 | 1638 m | South East |
| 6628-19948 | 177668 | | | Domestic | 1999-10-12 | 25.00 | | 54.40 | | 1524 | 2750 | 2.0000 | 13.50 | 13.50 | 40.90 | 1639 m | North |
| 6628-28136 | 288423 | BH54 51 | Backfilled | | | 14.52 | | 38.40 | | | | | | | | 1640 m | West |
| 6628-28633 | 290471 | CH 1390 | | | 2016-10-31 | 13.30 | | 35.80 | | | | | | | | 1640 m | West |
| 6628-15935 | 62904 | | Operational | Domestic | 1992-03-05 | 15.00 | | 70.00 | 6.70 | 3053 | 5452 | | 4.60 | 4.60 | 65.40 | 1642 m | North East |
| 6628-27431 | 280502 | BH16 | Backfilled | | 2014-08-07 | 15.00 | | 39.90 | | | | | | | | 1646 m | West |
| 6628-22361 | 209744 | GW 4 | | Monitoring | 2006-01-17 | 8.20 | | 87.60 | | | | | 5.37 | 5.37 | 82.23 | 1647 m | East |
| 6628-18437 | 164546 | | | Domestic | 1997-03-17 | 24.00 | | 64.00 | | 1939 | 3490 | | 9.00 | 9.00 | 55.00 | 1649 m | North East |
| 6628-18243 | 163080 | | | Domestic | 1997-01-27 | 30.00 | | 56.60 | | 1373 | 2480 | 0.5000 | 9.00 | 9.00 | 47.60 | 1650 m | North East |
| 6628-22266 | 206473 | MW 6 | | Monitoring | 2005-08-11 | 6.00 | | 35.80 | | | | | | | | 1650 m | West |
| 6628-18227 | 163026 | | | Domestic | 1996-12-06 | 19.50 | | 72.90 | | 2585 | 4630 | 1.0000 | 6.00 | 6.00 | 66.90 | 1651 m | North East |
| 6628-27182 | 279208 | TUSMOR E RESERVE | | Drainage | 2014-02-25 | 137.00 | | 86.60 | | 1457 | 2630 | 5.0000 | 42.97 | 42.97 | 43.63 | 1651 m | South East |
| 6628-22265 | 206472 | MW 5 | | Monitoring | 2005-08-11 | 6.00 | | 35.70 | | | | | | | | 1655 m | West |
| 6628-104 | 47204 | ST PETERS BOYS COLLEGE, HACKNEY | Operational | Drainage | 1914-04-01 | 46.94 | | 41.20 | 7.50 | 1295 | 2340 | 1.8900 | 7.62 | 7.62 | 33.58 | 1659 m | North West |
| 6628-112 | 47212 | | | | | 9.14 | | 39.00 | | 1242 | 2247 | | | | | 1659 m | North West |
| 6628-19015 | 169384 | | | Domestic | 1998-05-04 | 30.00 | | 57.60 | | 1625 | 2930 | | 9.60 | 9.60 | 48.00 | 1659 m | North East |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|--------------|-------------|-------------------------------------|------------|-----------|----------|-------------|------|------|------|---------|-------|-------|-------|--------|------------|
| 6628-22387 | 210962 | | | | 2006-02-21 | 18.50 | | 40.00 | | 1085 | 1963 | 1.0000 | 5.00 | 5.00 | 35.00 | 1659 m | North West |
| 6628-18005 | 161246 | | | Domestic | 1996-06-04 | 24.00 | | 49.20 | 7.00 | 1872 | 3370 | 1.0000 | | | | 1660 m | North |
| 6628-10037 | 57006 | | Operational | Domestic; Irrigation | | 3.66 | | 78.20 | 7.00 | 1455 | 2627 | | | | | 1661 m | East |
| 6628-18451 | 164560 | | | Domestic | 1997-04-04 | 16.50 | | 39.80 | | 1188 | 2150 | | 5.40 | 5.40 | 34.40 | 1662 m | North West |
| 6628-16414 | 135509 | | | Domestic | 1993-10-01 | 13.70 | | 39.40 | 7.20 | 1244 | 2251 | 1.4000 | | | | 1667 m | North West |
| 6628-13823 | 60792 | | | | 1986-11-11 | 17.00 | 49.00 | | 7.40 | 1810 | 3260 | 0.6300 | 7.60 | 7.60 | 41.40 | 1668 m | North |
| 6628-29761 | 313506 | | | Monitoring | 2018-10-24 | 8.00 | | 35.50 | | | | | | | | 1670 m | West |
| 6628-157 | 47257 | | | | | | | 38.80 | | 1114 | 2016 | | | | | 1674 m | North West |
| 6628-28134 | 288421 | BH 49 | Backfilled | | | 29.10 | | 35.40 | | | | | | | | 1680 m | West |
| 6628-27422 | 280493 | BH2 | | Investigation | | 10.00 | | 35.30 | | | | | | | | 1681 m | North West |
| 6628-13267 | 60236 | | Operational | Domestic | 1985-03-16 | 20.00 | 62.00 | | 8.30 | 1244 | 2250 | 0.4000 | 7.00 | 7.00 | 55.00 | 1682 m | South |
| 6628-14055 | 61024 | | | | 1988-05-09 | 18.80 | 49.00 | | 7.30 | 2504 | 4490 | 1.2500 | 7.60 | 7.60 | 41.40 | 1682 m | North |
| 6628-33026 | 387869 | | | Environmental | 2024-04-15 | 13.00 | | | | | | | | | | 1686 m | East |
| 6628-15875 | 62844 | | Operational | Domestic | 1992-01-18 | 18.00 | | 62.00 | 6.90 | 1957 | 3520 | | 9.00 | 9.00 | 53.00 | 1689 m | North East |
| 6628-13531 | 60500 | | | Drainage | 1985-12-16 | 16.00 | | 40.30 | | | | | 3.80 | 3.80 | 36.50 | 1691 m | North West |
| 6628-29759 | 313485 | | | Monitoring | 2018-10-24 | 7.00 | | 35.20 | | | | | | | | 1693 m | West |
| 6628-23669 | 240257 | | | | 2007-12-14 | 22.00 | | 40.00 | | 1216 | 2200 | 1.0000 | 6.00 | 6.00 | 34.00 | 1694 m | North West |
| 6628-28137 | 288424 | BH 55 | Backfilled | | | 14.75 | | 37.00 | | | | | | | | 1696 m | West |
| 6628-27264 | 279785 | LAKE BORE 1 | | | | 6.00 | 34.88 | 34.85 | | | | | 3.84 | 3.81 | 31.04 | 1699 m | West |
| 6628-27754 | 285063 | | | Investigation | 2015-03-18 | 15.00 | | 35.30 | | | | | | | | 1700 m | North West |
| 6628-26431 | 270964 | MW 13 | | Investigation | 2012-08-13 | 15.00 | | 69.20 | | | | | 11.09 | 11.09 | 58.11 | 1707 m | South |
| 6628-182 | 47282 | | | | | 19.81 | 40.00 | | 7.50 | 1356 | 2450 | 0.8200 | 1.52 | 1.52 | 38.48 | 1713 m | North West |
| 6628-26432 | 270965 | MW 14 | | | 2012-08-14 | 14.00 | | 70.70 | | | | | 11.00 | 11.00 | 59.70 | 1713 m | South |
| 6628-33025 | 387868 | | | Environmental | 2024-04-16 | 11.00 | | | | | | | | | | 1716 m | East |
| 6628-111 | 47211 | | | | 1914-06-12 | 9.75 | 38.00 | | | 1692 | 3050 | 2.5300 | 8.53 | 8.53 | 29.47 | 1718 m | North West |
| 6628-647 | 47736 | | Backfilled | | | 18.59 | | 50.20 | | 1685 | 3038 | | | | | 1724 m | South West |
| 6628-24567 | 245587 | BG EAST BORE | Operational | Managed Aquifer Recharge (incl ASR) | 2009-02-26 | 183.00 | | 34.80 | | 2824 | 5050 | 12.0000 | 6.10 | 6.10 | 28.70 | 1725 m | West |
| 6628-18977 | 169292 | | | Drainage | 1998-05-01 | 21.00 | | 42.40 | | 2273 | 4080 | 3.3000 | 7.00 | 7.00 | 35.40 | 1726 m | North |
| 6628-13890 | 60859 | | | | 1987-02-25 | 13.60 | 69.00 | | 7.30 | 2030 | 3650 | 0.2500 | 7.20 | 7.20 | 61.80 | 1729 m | North East |
| 6628-27265 | 279786 | LAKE BORE 2 | | | | 6.00 | 33.49 | 33.37 | | | | | 1.82 | 1.70 | 31.67 | 1729 m | West |
| 6628-175 | 47275 | | | | | | | 38.00 | | 1257 | 2274 | | | | | 1730 m | North West |
| 6628-192 | 47292 | | | | | 6.55 | | 41.20 | | 2056 | 3699 | | 2.90 | 2.90 | 38.30 | 1730 m | North |
| 6628-16525 | 138543 | | | Domestic | 1993-12-04 | 18.00 | | 38.30 | 7.10 | 1222 | 2210 | | | | | 1731 m | North West |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|-------------------|----------------|---|------------|-----------|----------|-------------|------|------|------|---------|-------|-------|-------|--------|------------|
| 6628-22151 | 205639 | N117A (VPR1-VPR2) | Decommissioned | Investigation ; Managed Aquifer Recharge (incl ASR) | 2005-03-10 | 224.00 | | 54.00 | | 2932 | 5240 | 8.0000 | | | | 1733 m | South West |
| 6628-14412 | 61381 | | | | 1989-03-08 | 10.97 | | 40.00 | | | | | 4.87 | 4.87 | 35.13 | 1738 m | North West |
| 6628-185 | 47285 | | | | | 7.62 | | 38.80 | | 1157 | 2094 | | | | | 1738 m | North West |
| 6628-21534 | 198290 | | | | 1995-09-01 | 114.00 | | 82.00 | | | | | | | | 1746 m | East |
| 6628-15814 | 62783 | | Operational | Domestic | 1991-12-23 | 18.00 | | 56.60 | 7.10 | 1861 | 3350 | | 10.00 | 10.00 | 46.60 | 1747 m | North |
| 6628-26436 | 270969 | MW 18 | | Investigation | 2012-08-16 | 13.00 | | 71.10 | | | | | 11.50 | 11.50 | 59.60 | 1749 m | South |
| 6628-9931 | 56900 | | | | | 7.92 | | 42.00 | 6.50 | 2085 | 3749 | | 1.83 | 1.83 | 40.17 | 1750 m | North |
| 6628-12545 | 59514 | | Operational | Domestic | 1983-11-08 | 22.00 | 67.00 | | 8.10 | 2154 | 3870 | 2.2500 | 6.00 | 6.00 | 61.00 | 1752 m | North East |
| 6628-27271 | 279792 | LAKE BORE 8 | | | | 6.00 | 34.34 | 34.28 | | | | | 3.43 | 3.37 | 30.91 | 1753 m | West |
| 6628-21769 | 200343 | | | Domestic | 2004-03-07 | 20.00 | | 42.00 | | 1856 | 3340 | 2.0000 | 5.50 | 5.50 | 36.50 | 1755 m | North |
| 6628-19943 | 177663 | | | Domestic | 1999-09-05 | 24.00 | | 62.70 | | 1895 | 3410 | 0.1260 | 10.50 | 10.50 | 52.20 | 1757 m | North East |
| 6628-26388 | 270195 | MW 12 | | Investigation | 2012-02-15 | 14.00 | | 69.70 | | | | | 11.00 | 11.00 | 58.70 | 1758 m | South |
| 6628-21768 | 200342 | | | Domestic | 2004-03-06 | 20.00 | | 42.00 | | 1597 | 2880 | 2.0000 | 5.50 | 5.50 | 36.50 | 1759 m | North |
| 6628-27882 | 285613 | BG IMP 3 | | | | | | | | | | | | | | 1760 m | West |
| 6628-27266 | 279787 | LAKE BORE 3 | | | | 6.00 | 33.27 | 33.25 | | | | | 1.86 | 1.84 | 31.41 | 1763 m | West |
| 6628-32237 | 375547 | | Dry | Environmental | 2023-01-17 | 7.00 | | 35.60 | | | | | | | | 1763 m | North West |
| 6628-25574 | 262311 | | | | 2010-06-04 | 24.00 | | 91.60 | | 969 | 1755 | 1.0000 | 10.00 | 10.00 | 81.60 | 1765 m | South East |
| 6628-27884 | 285615 | BG IMP 4 | | | | | | | | | | | | | | 1765 m | West |
| 6628-26433 | 270966 | MW 15 | | Investigation | 2012-08-15 | 14.00 | | 68.60 | | | | | 12.00 | 12.00 | 56.60 | 1766 m | South |
| 6628-16363 | 134433 | | | | 1993-02-22 | 18.00 | | 38.00 | | 1183 | 2142 | | | | | 1768 m | North West |
| 6628-10058 | 57027 | | | | 1970-05-01 | 36.58 | | 91.20 | | | | 0.1500 | 4.57 | 4.57 | 86.63 | 1770 m | South East |
| 6628-33027 | 387870 | | | Environmental | 2024-04-16 | 6.80 | | | | | | | | | | 1771 m | East |
| 6628-23731 | 241403 | | | | 2007-12-07 | 32.00 | | 47.90 | | 1839 | 3310 | 32.0000 | 17.00 | 17.00 | 30.90 | 1772 m | West |
| 6628-15622 | 62591 | | Operational | Domestic | 1991-04-12 | 30.00 | | 60.70 | 7.00 | 2858 | 5109 | 0.2000 | 18.60 | 18.60 | 42.10 | 1773 m | North East |
| 6628-32236 | 375546 | | Dry | Environmental | 2023-01-17 | 7.00 | | 35.60 | | | | | | | | 1773 m | North West |
| 6628-32662 | 383644 | | Dry | Environmental | 2023-10-04 | 7.00 | | | | | | | | | | 1774 m | North West |
| 6628-19040 | 169568 | | | Domestic | 1998-06-15 | 19.50 | | 72.00 | | 2138 | 3840 | | 7.50 | 7.50 | 64.50 | 1775 m | North East |
| 6628-32238 | 375548 | | Dry | Environmental | 2023-01-18 | 6.50 | | 36.20 | | | | | | | | 1775 m | North West |
| 6628-18703 | 167152 | | | Domestic | 1997-12-08 | 27.00 | | 50.90 | | 1759 | 3170 | | 15.00 | 15.00 | 35.90 | 1777 m | North |
| 6628-33028 | 387889 | | | Environmental | 2024-04-16 | 9.80 | | | | | | | | | | 1778 m | East |
| 6628-26387 | 270194 | MW 11 | Backfilled | Investigation | 2012-02-15 | 14.00 | | 69.60 | | | | | 11.00 | 11.00 | 58.60 | 1780 m | South |
| 6628-28898 | 295099 | MW 22 | | Investigation | 2017-06-20 | 15.00 | | 69.20 | | | | | 12.00 | 12.00 | 57.20 | 1790 m | South |

Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------------|-------------------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-604 | 47693 | GOVERNMENT BORE | | | 1915-01-01 | 95.10 | | 50.20 | | 971 | 1760 | | 18.29 | 18.29 | 31.91 | 1790 m | South West |
| 6628-28416 | 289409 | GW 2 | | Investigation | 2016-04-30 | 7.50 | | 49.90 | | | | | 5.10 | 5.10 | 44.80 | 1791 m | South West |
| 6628-15117 | 62086 | | Operational | Drainage | 1989-11-03 | 12.00 | 36.00 | | 6.70 | 1154 | 2090 | 1.2000 | 6.10 | 6.10 | 29.90 | 1792 m | North West |
| 6628-32663 | 383645 | | Dry | Environmental | 2023-10-03 | 6.00 | | | | | | | | | | 1793 m | North West |
| 6628-32664 | 383646 | | Dry | Environmental | 2023-10-03 | 7.50 | | | | | | | | | | 1793 m | North West |
| 6628-183 | 47283 | | | | | 9.14 | | 38.80 | | 1071 | 1940 | | | | | 1794 m | North West |
| 6628-32743 | 384124 | | Dry | Environmental | 2023-10-30 | 6.50 | | | | | | | | | | 1794 m | East |
| 6628-27267 | 279788 | LAKE BORE 4 | | | | 6.00 | 33.09 | 33.01 | | | | | 2.55 | 2.47 | 30.54 | 1795 m | West |
| 6628-32742 | 384123 | | Dry | Environmental | 2023-10-31 | 6.50 | | | | | | | | | | 1795 m | East |
| 6628-26386 | 270193 | MW 10 | | Investigation | 2012-02-14 | 14.00 | | 70.10 | | | | | 12.00 | 12.00 | 58.10 | 1796 m | South |
| 6628-7 | 47107 | | | | | 6.71 | | 34.30 | | | | | | | | 1799 m | West |
| 6628-16556 | 139175 | | | Domestic | 1994-02-17 | 18.00 | | 37.00 | 6.80 | 1210 | 2190 | | | | | 1800 m | North West |
| 6628-27883 | 285614 | BG IMP 4 | | | | | | | | | | | | | | 1803 m | West |
| 6628-176 | 47276 | PUB. BLDGS DEPT. | Abandoned | | 1964-01-31 | 25.91 | | | | | | | 10.97 | 10.97 | | 1807 m | North West |
| 6628-18439 | 164548 | | | Domestic | 1997-03-12 | 18.00 | | 43.70 | | 1973 | 3550 | | 9.00 | 9.00 | 34.70 | 1808 m | North |
| 6628-27272 | 279793 | LAKE BORE 9 | | | | 6.00 | 33.09 | 32.97 | | | | | 2.08 | 1.96 | 31.01 | 1812 m | West |
| 6628-32739 | 384120 | | Dry | Environmental | 2023-11-01 | 6.80 | | | | | | | | | | 1812 m | East |
| 6628-10059 | 57028 | | | | 1978-11-01 | 7.62 | | 75.30 | 7.20 | 2199 | 3950 | | | | | 1813 m | North East |
| 6628-28417 | 289410 | GW 3 | | Investigation | 2016-04-30 | 7.50 | | 49.80 | | | | | 5.20 | 5.20 | 44.60 | 1815 m | South West |
| 6628-19950 | 177670 | | | Domestic | 1999-11-02 | 32.00 | | 56.40 | | 1754 | 3160 | 1.5000 | 15.00 | 15.00 | 41.40 | 1816 m | North |
| 6628-32744 | 384125 | | Dry | Environmental | 2023-10-31 | 8.00 | | | | | | | | | | 1816 m | East |
| 6628-16649 | 142274 | | | Domestic | 1994-07-07 | 31.00 | | 60.00 | 7.50 | 1945 | 3500 | 1.2000 | | | | 1819 m | North East |
| 6628-26434 | 270967 | MW 16 | | Investigation | 2012-08-15 | 13.00 | | 68.50 | | | | | 11.00 | 11.00 | 57.50 | 1826 m | South |
| 6628-32740 | 384121 | | Dry | Environmental | 2023-11-01 | 6.50 | | | | | | | | | | 1826 m | East |
| 6628-19327 | 173826 | | | Domestic | 1999-01-08 | 18.00 | | 46.90 | | 1759 | 3170 | 1.0000 | 10.80 | 10.80 | 36.10 | 1827 m | North |
| 6628-27268 | 279789 | LAKE BORE 5 | | | | 6.00 | 33.13 | 33.00 | | | | | 2.76 | 2.63 | 30.37 | 1827 m | West |
| 6628-23248 | 235970 | | | | 2007-10-10 | 25.00 | | 93.40 | | 1099 | 1990 | 0.3300 | 6.00 | 6.00 | 87.40 | 1832 m | East |
| 6628-32741 | 384122 | | Dry | Environmental | 2023-11-01 | 6.50 | | | | | | | | | | 1836 m | East |
| 6628-16355 | 134425 | | | Domestic | 1992-12-01 | 19.00 | | 51.40 | 7.10 | 783 | 1420 | | | | | 1837 m | North |
| 6628-27880 | 285611 | BG IMP 1 | | | | | | | | | | | | | | 1837 m | West |
| 6628-12242 | 59211 | GH 158 | Geotechnically Equipped | Investigation | 1982-06-15 | 10.94 | 66.00 | | | | | | | | | 1838 m | South |
| 6628-10062 | 57031 | | | | 1962-05-01 | 8.53 | | 77.30 | | 1699 | 3063 | | | | | 1841 m | East |
| 6628-17510 | 153313 | | | Domestic | 1995-12-29 | 19.00 | | 48.00 | 7.30 | 1754 | 3160 | 1.0000 | | | | 1841 m | North |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------------|----------------------|-------------------------------------|------------|-----------|----------|-------------|------|------|------|---------|-------|-------|-------|--------|------------|
| 6628-18231 | 163030 | | | Domestic | 1997-01-31 | 28.00 | | 54.40 | | 1737 | 3130 | | 15.60 | 15.60 | 38.80 | 1841 m | North |
| 6628-26601 | 272292 | MW | | | 2012-06-13 | 15.00 | | 50.90 | | | | | 11.80 | 11.80 | 39.10 | 1842 m | South West |
| 6628-18440 | 164549 | | | Domestic | 1997-02-25 | 26.00 | | 52.20 | | 1743 | 3140 | | 15.20 | 15.20 | 37.00 | 1843 m | North |
| 6628-28415 | 289408 | GW 1 | | Investigation | 2016-04-30 | 7.50 | | 49.40 | | | | | 4.90 | 4.90 | 44.50 | 1843 m | South West |
| 6628-15708 | 62677 | | Operational | Domestic | 1991-10-15 | 17.30 | | 40.90 | 7.60 | 900 | 1631 | 2.0000 | 8.30 | 8.30 | 32.60 | 1845 m | North |
| 6628-32746 | 384144 | | | Environmental | 2023-10-30 | 6.50 | | | | | | | | | | 1845 m | East |
| 6628-10061 | 57030 | | Backfilled | | 1962-01-12 | 7.31 | | 77.00 | | 2299 | 4127 | | 1.83 | 1.83 | 75.17 | 1846 m | North East |
| 6628-12596 | 59565 | ADE158 | Rehabilitated | Observation | 1983-11-04 | 131.00 | 86.87 | 86.87 | 7.80 | 1373 | 2480 | 0.3800 | 37.39 | 37.39 | 49.48 | 1846 m | East |
| 6628-32578 | 382377 | | | Investigation | 2023-07-31 | 10.50 | | 91.90 | | | | | 5.50 | 5.50 | 86.40 | 1846 m | East |
| 6628-15783 | 62752 | | Operational | Recreational | 1991-11-27 | 12.00 | | 52.00 | 7.40 | 1861 | 3350 | 1.0000 | 3.10 | 3.10 | 48.90 | 1849 m | South West |
| 6628-22152 | 205640 | N117B (BG1) | Controlled - shut in | Monitoring | 2005-03-08 | 186.00 | | 33.90 | 7.70 | 2460 | 4410 | | 3.40 | 3.40 | 30.50 | 1849 m | West |
| 6628-32704 | 384008 | | | Environmental | 2023-10-25 | 10.50 | | | | | | | | | | 1849 m | East |
| 6628-12206 | 59175 | | | | 1983-03-19 | 15.00 | 70.00 | | 7.40 | 2312 | 4150 | 1.5000 | 3.50 | 3.50 | 66.50 | 1850 m | North East |
| 6628-20779 | 189076 | | | Domestic | 2002-02-05 | 20.00 | | 42.40 | | 1586 | 2860 | 1.5000 | 7.00 | 7.00 | 35.40 | 1851 m | North |
| 6628-648 | 47737 | | | | | 8.23 | | 49.20 | | | | | | | | 1851 m | South West |
| 6628-27881 | 285612 | BG IMP 2 | | | | | | | | | | | | | | 1853 m | West |
| 6628-10060 | 57029 | | Backfilled | | 1962-01-12 | 7.92 | | 76.90 | | 2313 | 4152 | | 1.93 | 1.93 | 74.97 | 1854 m | North East |
| 6628-17950 | 159787 | | | Domestic | 1996-08-19 | 20.00 | | 69.20 | 7.50 | 2234 | 4010 | 0.2000 | | | | 1854 m | North East |
| 6628-24566 | 245586 | BG WEST BORE | Operational | Managed Aquifer Recharge (incl ASR) | 2009-02-06 | 130.00 | | 33.80 | | 3218 | 5740 | 15.0000 | 5.60 | 5.60 | 28.20 | 1854 m | West |
| 6628-26602 | 272293 | MW 2 | | Investigation | 2012-06-15 | 13.50 | | 50.60 | | | | | 11.80 | 11.80 | 38.80 | 1854 m | West |
| 6628-27269 | 279790 | LAKE BORE 6 | | | | 6.00 | 33.26 | 33.11 | | | | | 3.42 | 3.27 | 29.84 | 1854 m | West |
| 6628-14293 | 61262 | | Operational | Domestic | 1988-10-27 | 10.60 | | 38.70 | 7.20 | 1658 | 2990 | 1.2000 | 2.10 | 2.10 | 36.60 | 1855 m | North West |
| 6628-15405 | 62374 | | Operational | Domestic | 1990-11-22 | 25.00 | | 55.10 | 7.80 | 1474 | 2660 | 0.6000 | 12.00 | 12.00 | 43.10 | 1855 m | North |
| 6628-18441 | 164550 | | | Domestic | 1997-02-24 | 25.00 | | 52.00 | | 1670 | 3010 | 1.0000 | 12.00 | 12.00 | 40.00 | 1856 m | North |
| 6628-26300 | 269231 | DW | Controlled - shut in | Monitoring | 2008-09-03 | 180.00 | | 34.00 | | | | 2.5000 | -7.34 | -7.34 | 41.34 | 1858 m | West |
| 6628-26603 | 272294 | MW 3 | | Investigation | 2012-06-15 | 13.50 | | 50.60 | | | | | 11.80 | 11.80 | 38.80 | 1860 m | South West |
| 6628-17462 | 152970 | | | Domestic | 1995-11-15 | 15.00 | | 37.90 | 7.20 | 1513 | 2730 | | | | | 1862 m | North West |
| 6628-27270 | 279791 | LAKE BORE 7 | | | | 6.00 | 33.37 | 33.19 | | | | | 3.26 | 3.08 | 30.11 | 1863 m | West |
| 6628-33029 | 387898 | | | Environmental | 2024-01-30 | 10.00 | | | | | | | | | | 1863 m | East |
| 6628-18244 | 163081 | | | Domestic | 1997-01-24 | 30.00 | | 60.00 | | 2421 | 4340 | 0.5000 | 10.00 | 10.00 | 50.00 | 1866 m | North East |
| 6628-138 | 47238 | BOTANIC GARDEN S | | | | | | 34.00 | | 1742 | 3140 | | | | | 1867 m | West |
| 6628-23666 | 240254 | | | | 2007-11-20 | 20.00 | | 36.40 | | 1123 | 2033 | 0.3000 | 4.30 | 4.30 | 32.10 | 1867 m | North West |
| 6628-18442 | 164551 | | | Domestic | 1997-04-08 | 25.00 | | 52.60 | | 1631 | 2940 | | 15.00 | 15.00 | 37.60 | 1868 m | North |

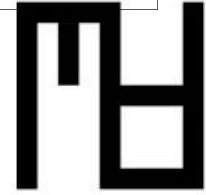
Attachment 1

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|------------------|------------------------|-----------------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-615 | 47704 | | Abandoned | | 1963-07-03 | 4.57 | | | | | | | | | | 1869 m | West |
| 6628-12347 | 59316 | | | | 1983-06-30 | 9.00 | 49.00 | | | | | 0.3000 | 6.00 | 6.00 | 43.00 | 1871 m | North |
| 6628-15717 | 62686 | | Operational | Domestic | 1991-10-11 | 23.40 | | 60.00 | 7.60 | 2597 | 4652 | 0.7500 | 0.00 | 0.00 | 60.00 | 1872 m | North East |
| 6628-23329 | 236165 | | | | 2007-12-19 | 26.00 | | 36.00 | | 1272 | 2300 | 2.0000 | 4.00 | 4.00 | 32.00 | 1877 m | North West |
| 6628-15996 | 62965 | | Operational | Domestic | 1992-04-17 | 18.00 | | 48.40 | 7.00 | 1474 | 2660 | | 12.00 | 12.00 | 36.40 | 1881 m | North |
| 6628-26435 | 270968 | MW 17 | | Investigation | 2012-08-16 | 13.00 | | 69.10 | | | | | 11.50 | 11.50 | 57.60 | 1881 m | South |
| 6628-184 | 47284 | | | | 1914-01-01 | 11.89 | | 37.80 | 7.00 | 1320 | 2387 | | 0.76 | 0.76 | 37.04 | 1882 m | North West |
| 6628-16362 | 134432 | | | Domestic | 1993-03-10 | 16.00 | | 38.00 | 7.60 | 1440 | 2600 | 0.9000 | | | | 1885 m | North West |
| 6628-12240 | 59209 | GH 160 | Geotechnically Equiped | Investigation | 1982-06-18 | 9.75 | 62.00 | | | | | | | | | 1889 m | South |
| 6628-12856 | 59825 | | Operational | Domestic | 1984-03-13 | 27.00 | 1.00 | | 5.80 | 432 | 785 | 0.4000 | | | | 1889 m | North East |
| 6628-15936 | 62905 | | Operational | Domestic | 1992-03-03 | 18.00 | | 48.20 | 7.10 | 1463 | 2640 | | 9.00 | 9.00 | 39.20 | 1890 m | North |
| 6628-15601 | 62570 | | Operational | Domestic | 1991-08-02 | 12.00 | | 39.00 | 7.80 | 1596 | 2879 | 1.5000 | 2.70 | 2.70 | 36.30 | 1894 m | North West |
| 6628-18229 | 163028 | | | Domestic | 1996-12-16 | 28.00 | | 54.20 | | 1732 | 3120 | | 17.40 | 17.40 | 36.80 | 1895 m | North |
| 6628-139 | 47239 | BOTANIC GARDEN S | | | | | | 34.20 | | 1299 | 2349 | | | | | 1897 m | West |
| 6628-140 | 47240 | BOTANIC GARDEN S | | | | | | 34.20 | | 1213 | 2196 | | | | | 1897 m | West |
| 6628-141 | 47241 | BOTANIC GARDEN S | | | | | | 34.20 | | 1271 | 2300 | | | | | 1897 m | West |
| 6628-18264 | 164082 | | | Domestic | 1997-03-09 | 32.50 | | 57.00 | | 2631 | 4710 | 1.0000 | 19.00 | 19.00 | 38.00 | 1899 m | North |
| 6628-31651 | 364582 | | Dry | Investigation | 2021-12-09 | 13.00 | | 83.00 | | | | | | | | 1903 m | South East |
| 6628-610 | 47699 | | Backfilled | | | 32.00 | | 43.30 | | | | | | | | 1905 m | West |
| 6628-11514 | 58483 | | | Observation | 1980-01-19 | 22.00 | 65.99 | | 7.00 | 2510 | 4500 | 0.7500 | 10.88 | 10.88 | 55.11 | 1907 m | North East |
| 6628-23684 | 240311 | | | | 2008-04-03 | 30.00 | | 94.00 | | 1166 | 2110 | 0.4000 | 9.00 | 9.00 | 85.00 | 1907 m | South East |
| 6628-636 | 47725 | | | | | | | 50.10 | | 4869 | 8594 | | | | | 1910 m | West |
| 6628-19592 | 175959 | | | Domestic | 1999-04-16 | 30.00 | | 90.90 | | 827 | 1500 | 0.1260 | 16.00 | 16.00 | 74.90 | 1915 m | South East |
| 6628-177 | 47277 | | | | | 7.62 | | 35.80 | | 1299 | 2349 | | 3.51 | 3.51 | 32.29 | 1916 m | North West |
| 6628-19407 | 174191 | | | Domestic | 1999-03-04 | 14.00 | | 94.00 | | 688 | 1250 | 0.2500 | 8.90 | 8.90 | 85.10 | 1916 m | South East |
| 6628-13892 | 60861 | | | | 1987-02-21 | 15.00 | | 54.00 | | | | | 14.80 | 14.80 | 39.20 | 1921 m | North |
| 6628-9930 | 56899 | | | | | 12.19 | | 44.30 | 7.00 | 1645 | 2967 | | 8.53 | 8.53 | 35.77 | 1921 m | North |
| 6628-18271 | 164089 | | Abandoned | Investigation | 1996-10-15 | 20.00 | | 50.70 | | | | | | | | 1924 m | South West |
| 6628-18761 | 167540 | | | Domestic | 1997-11-15 | 33.00 | | 55.50 | | 1530 | 2760 | 1.5000 | 16.00 | 16.00 | 39.50 | 1927 m | North |
| 6628-18158 | 162894 | | | Domestic | 1996-12-02 | 16.00 | | 94.00 | | 495 | 900 | 0.5000 | 9.00 | 9.00 | 85.00 | 1930 m | South East |
| 6628-15341 | 62310 | | Unknown | Domestic; Observation | 1990-07-15 | 25.00 | | 65.50 | 7.40 | 3075 | 5491 | 0.2000 | 16.00 | 16.00 | 49.50 | 1934 m | North East |
| 6628-31652 | 364583 | | Dry | Investigation | 2021-12-07 | 14.00 | | 84.50 | | | | | | | | 1934 m | South East |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|--------------------|-------------|---------------|------------|-----------|----------|-------------|-------|------|------|---------|-------|-------|-------|--------|------------|
| 6628-11356 | 58325 | | | | 1980-02-28 | 22.50 | 68.00 | | 7.30 | 2624 | 4700 | 0.3000 | 7.20 | 7.20 | 60.80 | 1943 m | North East |
| 6628-562 | 47659 | ETSA | Abandoned | | 1960-03-08 | 23.01 | | | | 1770 | 3190 | | | | | 1944 m | South |
| 6628-9929 | 56898 | | Backfilled | | | 15.54 | | 45.00 | | 2556 | 4582 | | | | | 1944 m | North |
| 6628-16454 | 135727 | | | Domestic | 1993-07-28 | 12.00 | | 40.80 | | | | 1.0000 | | | | 1947 m | North West |
| 6628-11196 | 58165 | | | | 1980-02-26 | 21.60 | 66.00 | | 6.90 | 2795 | 5000 | 1.0000 | 9.00 | 9.00 | 57.00 | 1949 m | North East |
| 6628-18625 | 166783 | | | Domestic | 1997-08-02 | 27.00 | | 63.00 | | 2262 | 4060 | 0.2500 | 13.00 | 13.00 | 50.00 | 1954 m | North East |
| 6628-19952 | 177672 | | | Domestic | 1999-11-11 | 24.00 | | 93.80 | | 457 | 830 | 1.0000 | 3.00 | 3.00 | 90.80 | 1956 m | South East |
| 6628-13 | 47113 | RADIOTH ERAPY 3 | Unknown | | 1955-04-19 | 30.48 | | | 8.40 | 1513 | 2729 | | | | | 1958 m | West |
| 6628-16241 | 130789 | | | Domestic | | 12.00 | | 96.10 | 7.50 | 744 | 1350 | | 6.00 | 6.00 | 90.10 | 1959 m | East |
| 6628-17953 | 159790 | | | Domestic | 1996-08-21 | 20.00 | | 49.60 | 7.10 | 1496 | 2700 | 0.5000 | | | | 1959 m | North |
| 6628-27212 | 279358 | NCGRT 3A | Operational | Monitoring | | 169.00 | 58.36 | 58.42 | 7.60 | 1199 | 2170 | 2.0000 | 14.91 | 14.97 | 43.45 | 1960 m | North |
| 6628-563 | 47660 | ETSA | Abandoned | | 1960-04-01 | 10.97 | | | | 2113 | 3799 | | | | | 1960 m | South |
| 6628-27254 | 279690 | NCGRT 3 | | Investigation | | 123.00 | | 58.20 | | 1962 | 3530 | 1.0000 | | | | 1962 m | North |
| 6628-27255 | 279691 | NCGRT 3B | | Investigation | | 123.00 | 58.28 | 58.46 | 6.90 | 4 | 8 | | 13.34 | 13.52 | 44.94 | 1962 m | North |
| 6628-27256 | 279692 | NCGRT 3C | | Investigation | | 123.00 | 58.30 | 58.46 | | | | | 14.25 | 14.41 | 44.05 | 1962 m | North |
| 6628-27257 | 279693 | NCGRT 3D | | Investigation | | 123.00 | 58.28 | 58.46 | 7.90 | 2251 | 4040 | | 14.74 | 14.92 | 43.54 | 1962 m | North |
| 6628-27258 | 279694 | NCGRT 3E | | Investigation | | 123.00 | 58.31 | 58.46 | 11.90 | 2471 | 4430 | | 18.21 | 18.36 | 40.10 | 1962 m | North |
| 6628-31001 | 352960 | | Backfilled | | 2020-01-20 | 17.00 | | 48.20 | | | | | | | | 1962 m | West |
| 6628-24716 | 247054 | | | | 2008-09-18 | 20.00 | | 36.00 | | 1271 | 2298 | 0.5800 | 9.50 | 9.50 | 26.50 | 1963 m | North West |
| 6628-27506 | 280882 | MW 2 | | Investigation | 2014-04-04 | 21.00 | | 86.00 | | | | | | | | 1963 m | South East |
| 6628-30619 | 334434 | | Backfilled | Investigation | 2020-01-08 | 17.00 | | 48.40 | | | | | | | | 1963 m | West |
| 6628-30724 | 336597 | | Backfilled | Investigation | 2020-01-19 | 17.00 | | 48.40 | | | | | | | | 1963 m | West |
| 6628-31653 | 364584 | | Dry | Investigation | 2021-12-06 | 13.50 | | 84.40 | | | | | | | | 1963 m | South East |
| 6628-26112 | 266973 | MW 14 | | Investigation | 2011-05-02 | 12.00 | | 61.10 | | | | | 8.00 | 8.00 | 53.10 | 1966 m | South |
| 6628-27505 | 280881 | MW 1 | | Investigation | 2014-04-08 | 21.30 | | 85.80 | | | | | 19.70 | 19.70 | 66.10 | 1968 m | South East |
| 6628-30464 | 330210 | | Backfilled | | | | | 60.00 | | | | | | | | 1968 m | South |
| 6628-14550 | 61519 | GH 45 | Abandoned | Investigation | 1983-03-01 | 10.50 | 62.00 | | | | | | | | | 1969 m | North East |
| 6628-25355 | 258779 | MW 6 | | Investigation | 2010-03-18 | 9.50 | | 60.00 | | | | | 6.93 | 6.93 | 53.07 | 1969 m | South |
| 6628-28697 | 291250 | | Operational | | | 10.00 | | 32.00 | | | | | | | | 1969 m | North West |
| 6628-14 | 47114 | RADIOTH ERAPY 4 | Unknown | | 1955-04-28 | 20.04 | | | | | | | 7.16 | 7.16 | | 1970 m | West |
| 6628-12 | 47112 | RADIOTH ERAPY 2 | Unknown | | 1955-03-31 | 12.34 | | | | 2556 | 4580 | | 6.10 | 6.10 | | 1971 m | West |
| 6628-14008 | 60977 | | | | 1987-06-01 | 27.00 | | 53.90 | 7.80 | 1149 | 2080 | 1.5000 | 14.50 | 14.50 | 39.40 | 1972 m | North |
| 6628-561 | 47658 | ETSA | Abandoned | | 1960-04-07 | 12.19 | | | | 4941 | 8714 | | | | | 1972 m | South |
| 6628-12254 | 59223 | GLENSIDE TEST HOLE | Backfilled | Observation | 1983-03-03 | 132.00 | 67.65 | | 9.90 | 1496 | 2700 | 30.0000 | 11.33 | 11.33 | 56.32 | 1973 m | South |

| Unit No | Drillhole No | Name | Status | Purpose | Drill Date | Max Depth | Ref Elev | Ground Elev | PH | TDS | EC | Yield | DTW | SWL | RSWL | Dist | Dir |
|------------|--------------|-----------------|-------------|---------------|------------|-----------|----------|-------------|------|------|------|--------|-------|-------|-------|--------|------------|
| 6628-178 | 47278 | | | | | 9.45 | | 34.80 | | 1057 | 1914 | | | | | 1974 m | North West |
| 6628-16145 | 63114 | | Operational | Domestic | 1989-10-20 | 14.00 | | 94.30 | | | | 0.250 | 5.00 | 5.00 | 89.30 | 1975 m | South East |
| 6628-27507 | 280883 | MW 3 | | Investigation | | 33.00 | | 86.00 | | | | | 19.50 | 19.50 | 66.50 | 1976 m | South East |
| 6628-31720 | 367618 | | Backfilled | Environmental | 2022-03-17 | 10.00 | | 39.00 | | | | | | | | 1976 m | West |
| 6628-18242 | 163079 | | | Domestic | 1997-01-10 | 21.00 | | 50.30 | | 1703 | 3070 | 0.500 | 9.00 | 9.00 | 41.30 | 1977 m | North |
| 6628-22980 | 231261 | | | | 2007-06-19 | 30.00 | | 62.90 | | 2030 | 3650 | 1.000 | 15.00 | 15.00 | 47.90 | 1977 m | North East |
| 6628-17453 | 152961 | | | Domestic | 1995-11-21 | 24.00 | | 72.20 | 7.30 | 1535 | 2770 | 0.2526 | | | | 1980 m | South |
| 6628-16603 | 141309 | | | Domestic | 1994-03-08 | 15.00 | | 41.10 | 7.60 | 1714 | 3090 | 1.000 | | | | 1981 m | North West |
| 6628-566 | 47663 | ETSA | Abandoned | | 1960-03-15 | 23.77 | | | | 2570 | 4605 | | | | | 1983 m | South West |
| 6628-16938 | 147709 | | | Domestic | 1995-01-03 | 24.00 | | 72.00 | 6.80 | 2421 | 4340 | | | | | 1984 m | North East |
| 6628-31338 | 355493 | | Backfilled | Investigation | 2021-06-18 | 24.95 | | 38.60 | | | | | | | | 1984 m | West |
| 6628-564 | 47661 | ETSA | Abandoned | | 1960-03-01 | 30.48 | | | | 1499 | 2705 | 1.2628 | | | | 1985 m | South |
| 6628-635 | 47724 | | | | | 22.90 | 50.00 | | 7.80 | 5118 | 9014 | 0.0600 | 13.70 | 13.70 | 36.30 | 1985 m | West |
| 6628-11 | 47111 | RADIOTH ERAPY 1 | Unknown | | 1955-03-28 | 24.38 | | | 7.60 | 1788 | 3220 | | | | | 1986 m | West |
| 6628-18538 | 165918 | | | Domestic | 1997-05-19 | 33.00 | | 92.90 | | 805 | 1460 | 0.6000 | 20.00 | 20.00 | 72.90 | 1989 m | South East |
| 6628-15 | 47115 | RADIOTH ERAPY 5 | Unknown | | 1955-05-04 | 12.57 | | | | | | | 5.79 | 5.79 | | 1990 m | West |
| 6628-26108 | 266965 | MW 2 | | Investigation | 2011-07-28 | 6.00 | | 31.90 | | 1917 | 3450 | | 3.20 | 3.20 | 28.70 | 1990 m | North West |
| 6628-17081 | 148590 | | | Domestic | 1995-04-01 | 18.00 | | 90.90 | 7.00 | 1923 | 3460 | | | | | 1993 m | East |
| 6628-21277 | 196914 | GW 3 | Abandoned | Investigation | 2003-05-28 | 9.60 | | 94.10 | | | | | 7.90 | 7.90 | 86.20 | 1993 m | East |
| 6628-10069 | 57038 | | Abandoned | | | | | | | 485 | 882 | | | | | 1997 m | East |

Drillholes Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 4.0 © Commonwealth of Australia <https://creativecommons.org/licenses/by/4.0/>



Appendix G

Site Photographs



Photo 1: View of the main building from Osmond Terrace



Photo 2: View of the library/hall from Osmond Terrace



Photo 3: Inside the library/hall looking west



Photo 4: View from west looking east onto the main building



Photo 5: View west to a garage/shed – historic stables on the right



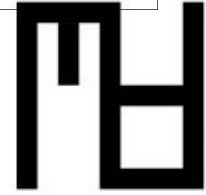
Photo 6: Inside the garage some oil marks on the bricks



Photo 7: View east across carpark to library/hall



Photo 8: View of retaining wall and embankment from the swale



Appendix H

Historical Business Directories Information

Historical Business Directories

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Attachment 1

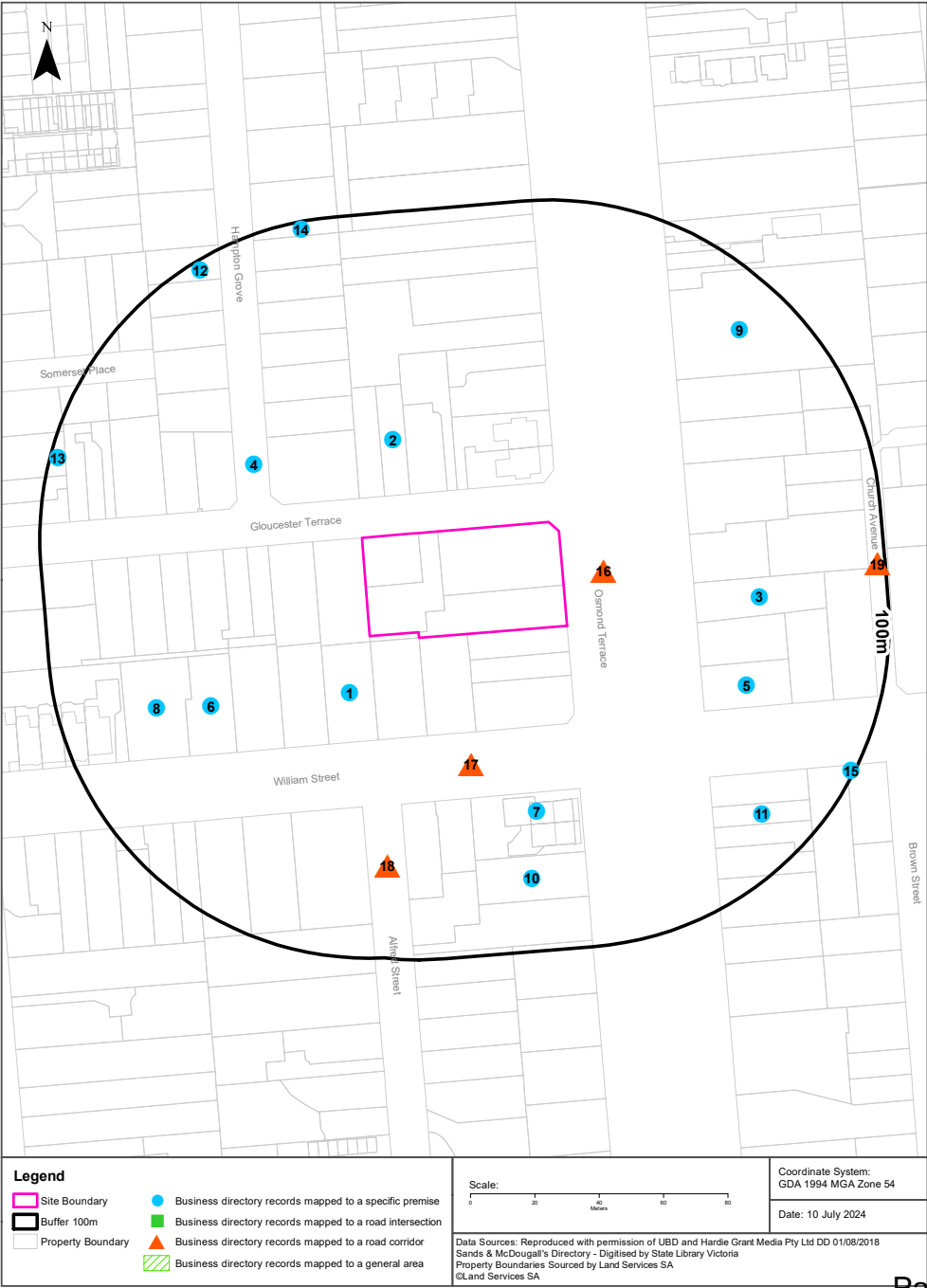
Historical Business Directories

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Business Directory Records 1910-1991 Premise or Road Intersection Matches

Potentially contaminative business activities extracted from Universal Business Directory and Sands & McDougall Directory records, from years 1991, 1984, 1973, 1965, 1955, 1950, 1940, 1930, 1920 & 1910, mapped to a premise or road intersection within the dataset buffer:

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|---|---|---------|------|---------------------|--|------------|
| 1 | ELECTRICIAN & ELECTRICAL CONTRACTORS | Sette F 73 William st Norwood | 10799 | 1973 | Premise Match | 2m | South West |
| 2 | ENGINEERS (Mechanical & General) | Eiksnis J 13 Gloucester ter Norwood | 34663 | 1955 | Premise Match | 12m | North West |
| 3 | Electricians & Electric Light Contractors | Gillies R A 98 Osmond ter Norwood | 53228 | 1965 | Premise Match | 40m | East |
| | Electricians & Electric Light Contractors | Gillies R A 98 Osmond ter Norwood | 30347 | 1955 | Premise Match | 40m | East |
| 4 | BOARDINGHOUSES, GUEST HOMES, APARTMENTS & FLATS | Gloucester House Flats 7 Gloucester ter Norwood | 381 | 1955 | Premise Match | 41m | North West |
| | FATS & APARTMENTS | Gloucester House., 7 Gloucester Pl., Norwood | 7479 | 1950 | Premise Match | 41m | North West |
| | FLATS | Gloucester House, 7 Gloucester pl, Norwood | 142 | 1940 | Premise Match | 41m | North West |
| 5 | Delicatessens & Ham & Beef Shops | Paynter D E & N A 102 Osmond st Glenelg North | 42650 | 1965 | Premise Match | 43m | East |
| 6 | Builders, Carpenters and Masons | Hippe, F, 67 William st, Norwd | 8279 | 1930 | Premise Match | 44m | South West |
| | Builders, Carpenters and Masons | Hippe, F, 67 William-st, Norwood | 2521 | 1920 | Premise Match | 44m | South West |
| 7 | WATCHMAKERS AND JEWELLERS | Caris J D 83 Osmond ter Norwood | 12361 | 1973 | Premise Match | 52m | South |
| | WATCHMAKERS AND JEWELLERS | Caris J D 83 Osmond ter Norwood | 11771 | 1965 | Premise Match | 52m | South |
| | WATCHMAKERS & JEWELLERS | Canis J D 83 Osmond ter Norwood | 7768 | 1955 | Premise Match | 52m | South |
| 8 | MOTOR HIRE SERVICES | Carraill, C. A., 65 William St., Norwood | 14198 | 1950 | Premise Match | 57m | West |
| 9 | PRIVATE HOSPITALS | Osmond Terrace Hospital Pty Ltd 92 Osmond ter Norwood | 33903 | 1973 | Premise Match | 59m | North East |
| | PRIVATE HOSPITALS | Osmond Terrace Hospital Ltd 92 Osmond ter Norwood | 48433 | 1965 | Premise Match | 59m | North East |
| | HOSPITALS | Osmond Terrace Private Hospital Ltd 92 Osmond ter Norwood | 13138 | 1955 | Premise Match | 59m | North East |
| | Hospitals (Private) and Nursing Homes | Osmond Ter Private Hospital, 92 Osmond ter, Norwood | 2418 | 1940 | Premise Match | 59m | North East |
| 10 | PASTRYCOOKS AND CATERERS | Stewart. J. D., 87 Osmond ter, Norwood | 3746 | 1930 | Premise Match | 70m | South |
| 11 | BUILDERS & GENERAL CONTRACTORS | Pvle S A 104 Osmond ter Norwood | 8731 | 1955 | Premise Match | 72m | South East |
| 12 | TAXIS, PRIVATE BUSES AND OTHER HIRE SERVICES | O'Donnell B 21 Hampton gr Norwood | 2331 | 1973 | Premise Match | 92m | North West |
| | TAXIS, PRIVATE BUSES AND OTHER HIRE SERVICES | O'Donnell B 21 Hampton gr Norwood | 745 | 1965 | Premise Match | 92m | North West |
| 13 | ARCHITECTS | Lentakis J 26 Elizabeth st Norwood | 16292 | 1973 | Premise Match | 94m | West |
| 14 | PLUMBERS-MASTER | Robertson D W 10 Hampton gr Norwood | 32516 | 1973 | Premise Match | 95m | North West |
| 15 | PLASTERERS | Vanzo G 94 William st Norwood | 31635 | 1973 | Premise Match | 97m | South East |



Attachment 1

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|-------------------|-------------------------------|---------|------|---------------------|--|------------|
| 15 | PLASTERERS | Vanzo G 94 William st Norwood | 40777 | 1965 | Premise Match | 97m | South East |

Business Directory Content reproduced with permission of UBD and Hardie Grant Media Pty Ltd DD 01/08/2018 and Sands & McDougall's Directory of South Australia

Business Directory Records 1910-1991 Road or Area Matches

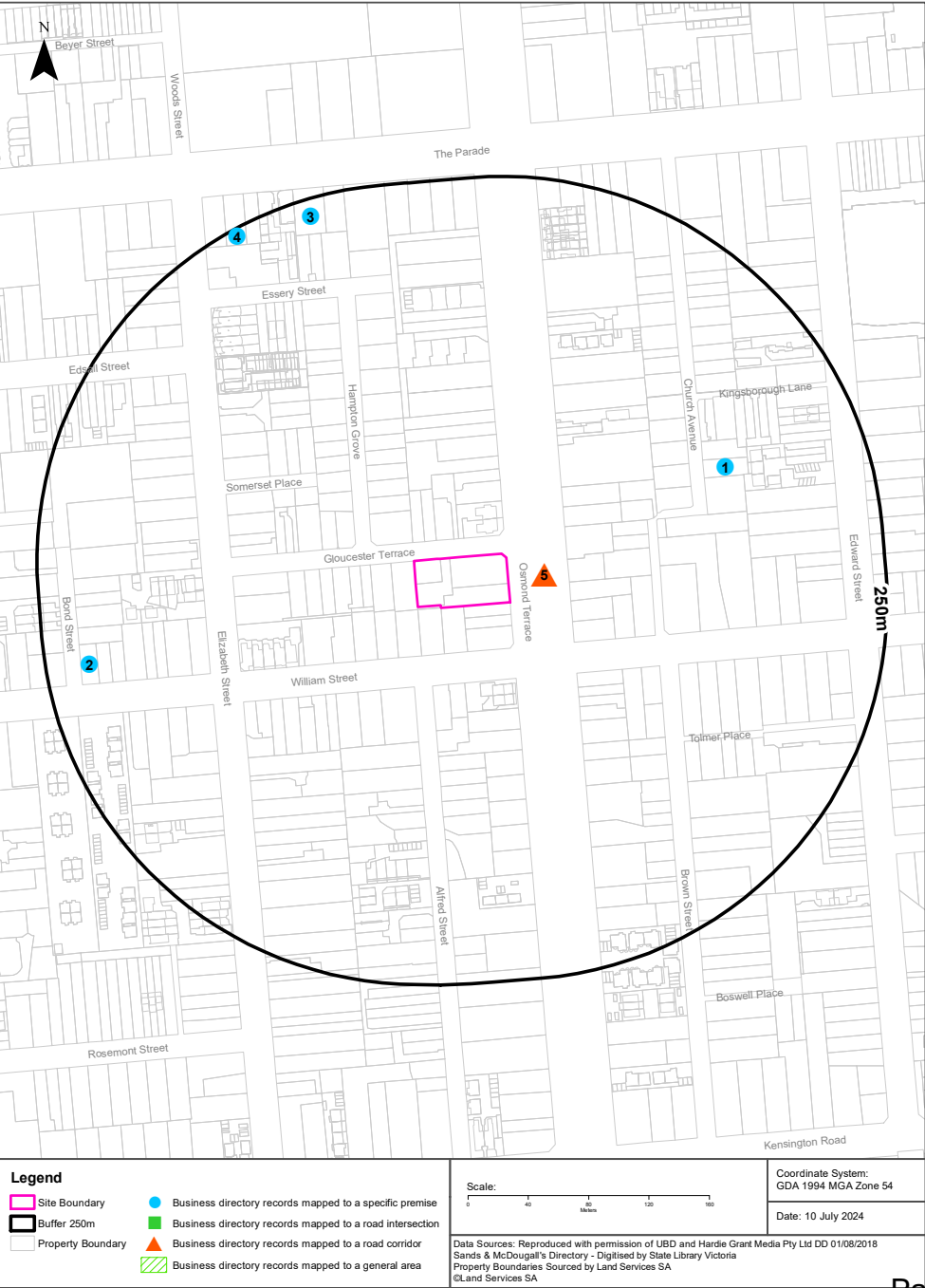
Potentially contaminative business activities extracted from Universal Business Directory and Sands & McDougall Directory records, from years 1991, 1984, 1973, 1965, 1955, 1950, 1940, 1930, 1920 & 1910, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--------|---------------------------------------|--|---------|------|---------------------|-----------------------------------|
| 16 | Builders Equipment &/or Plant Hirers | Wreckair Pty. Ltd., 2 Osmond Tce., Norwood. 5067 | 39063 | 1991 | Road Match | 9m |
| | Hire Services | Wreckair Pty. Ltd., 2 Osmond Tce.. Norwood 5067. | 23617 | 1991 | Road Match | 9m |
| | MOTOR GARAGES & SERVICE STATIONS | Caltex Service Station 20 Osmond tce Norwood | 14452 | 1973 | Road Match | 9m |
| | BUILDERS AND GENERAL CONTRACTORS | Kapetas Bros Osmond ter Norwood | 25701 | 1973 | Road Match | 9m |
| | SCHOOLS & COLLEGES | Infant Schools., Osmond Terr., Norwood | 16761 | 1950 | Road Match | 9m |
| | SCHOOLS & COLLEGES | Norwood Central School., Osmond Terr., Norwood | 16780 | 1950 | Road Match | 9m |
| | Blacksmiths And Farriers | Smith, F. E, Osmond ter, Norwood | 5017 | 1930 | Road Match | 9m |
| | Blacksmiths and Farriers | Smith, F. E, Osmond ter, Norwood | 914 | 1920 | Road Match | 9m |
| | Dealers (General) | Wallis, J. G, Osmond ter, Norwood | 5905 | 1910 | Road Match | 9m |
| 17 | ENGINEERS (Mechanical) AND MACHINISTS | Wraight E. E, William st, Norwood | 17260 | 1930 | Road Match | 38m |
| | Confectioners (Retail) | Couch, Miss L, William st, Norwood | 4782 | 1920 | Road Match | 38m |
| | Butchers | Borchardt, H, William st, Norwood | 2840 | 1910 | Road Match | 38m |
| | Dairies and Milk Vendors | Burdett, Arth, William st, Norwood | 5494 | 1910 | Road Match | 38m |
| | Bakers | Downs and Sons, William st, Nrwd | 17414 | 1910 | Road Match | 38m |
| | Mattress Makers | Goodger, T, William st, Norwood | 11255 | 1910 | Road Match | 38m |
| | Merchants and Importers | Kirk, T. H, William st, Norwood | 11437 | 1910 | Road Match | 38m |
| | Contractors | Pasfield, Jas, William st, Norwood | 5091 | 1910 | Road Match | 38m |
| 18 | MOTOR REPAIRS | Easy Terms Auto Repairs Alfred st Norwood | 23285 | 1955 | Road Match | 42m |
| 19 | Builders, Carpenters and Masons | Cook and Son, Church av, Norwood | 2201 | 1910 | Road Match | 95m |

Business Directory Content reproduced with permission of UBD and Hardie Grant Media Pty Ltd DD 01/08/2018 and Sands & McDougall's Directory of South Australia

Dry Cleaners, Motor Garages & Service Stations

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Attachment 1

Historical Business Directories

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Dry Cleaners, Motor Garages & Service Stations 1930-1991
Premise or Road Intersection Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories and Sands & McDougall's Directories, from years 1991, 1984, 1973, 1965, 1955, 1950, 1940 & 1930, mapped to a premise or road intersection, within the dataset buffer.

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|--|---|---------|------|---------------------|--|------------|
| 1 | MOTOR ENGINEERS, GARAGES & SERVICE STATIONS | Wacker A 20 Church av Norwood | 8937 | 1965 | Premise Match | 141m | North East |
| 2 | MOTOR ENGINEERS, GARAGES & SERVICE STATIONS | DeLurant M W 51 William st Norwood | 58862 | 1965 | Premise Match | 215m | West |
| 3 | MOTOR ENGINEERS, GARAGES & SERVICE STATIONS | Clarke Bros 96 Parade Norwood | 57877 | 1965 | Premise Match | 225m | North West |
| | MOTOR ENGINEERS, GARAGES & SERVICE STATIONS | Clarke Bros 96 Parade Norwood | 19524 | 1955 | Premise Match | 225m | North West |
| | MOTOR GARAGES, ENGINEERS & SERVICE STATIONS | Clarke Bros., 96 Parade, Norwood | 13941 | 1950 | Premise Match | 225m | North West |
| | Motor Engineers, Garages And Service Stations | Clarke Bros., 96 Parade , Norwd | 6753 | 1940 | Premise Match | 225m | North West |
| 4 | Motor Garages & Service Stations | Ampol Norwood Service Station, 76 The Parade, Norwood, 5067 | 27478 | 1991 | Premise Match | 237m | North West |
| | Motor Garages &/or Engineers &/or Service Stations | Norwood Service Station, 76 The Parade, Norwood. 5067. | 18452 | 1984 | Premise Match | 237m | North West |
| | MOTOR GARAGES & SERVICE STATIONS | Norwood Ampol Service Station 76-86 Parade Norwood | 16787 | 1973 | Premise Match | 237m | North West |
| | MOTOR ENGINEERS, GARAGES & SERVICE STATIONS | Norwood Ampol Service Station 80 Parade Norwood | 5591 | 1965 | Premise Match | 237m | North West |

Business Directory Content reproduced with permission of UBD and Hardie Grant Media Pty Ltd DD 01/08/2018 and Sands & McDougall's Directory of South Australia

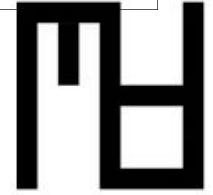
Dry Cleaners, Motor Garages & Service Stations 1930-1991 Road or Area Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories and Sands & McDougall's Directories, from years 1991, 1984, 1973, 1965, 1955, 1950, 1940 & 1930, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published.

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--------|----------------------------------|--|---------|------|---------------------|-----------------------------------|
| 5 | MOTOR GARAGES & SERVICE STATIONS | Caltex Service Station 20 Osmond Ice Norwood | 14452 | 1973 | Road Match | 9m |

Business Directory Content reproduced with permission of UBD and Hardie Grant Media Pty Ltd DD 01/08/2018 and Sands & McDougall's Directory of South Australia

Attachment 1



Appendix I

Historical Aerial Photographs

Aerial Imagery 2024

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Aerial Imagery 2021

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Attachment 1



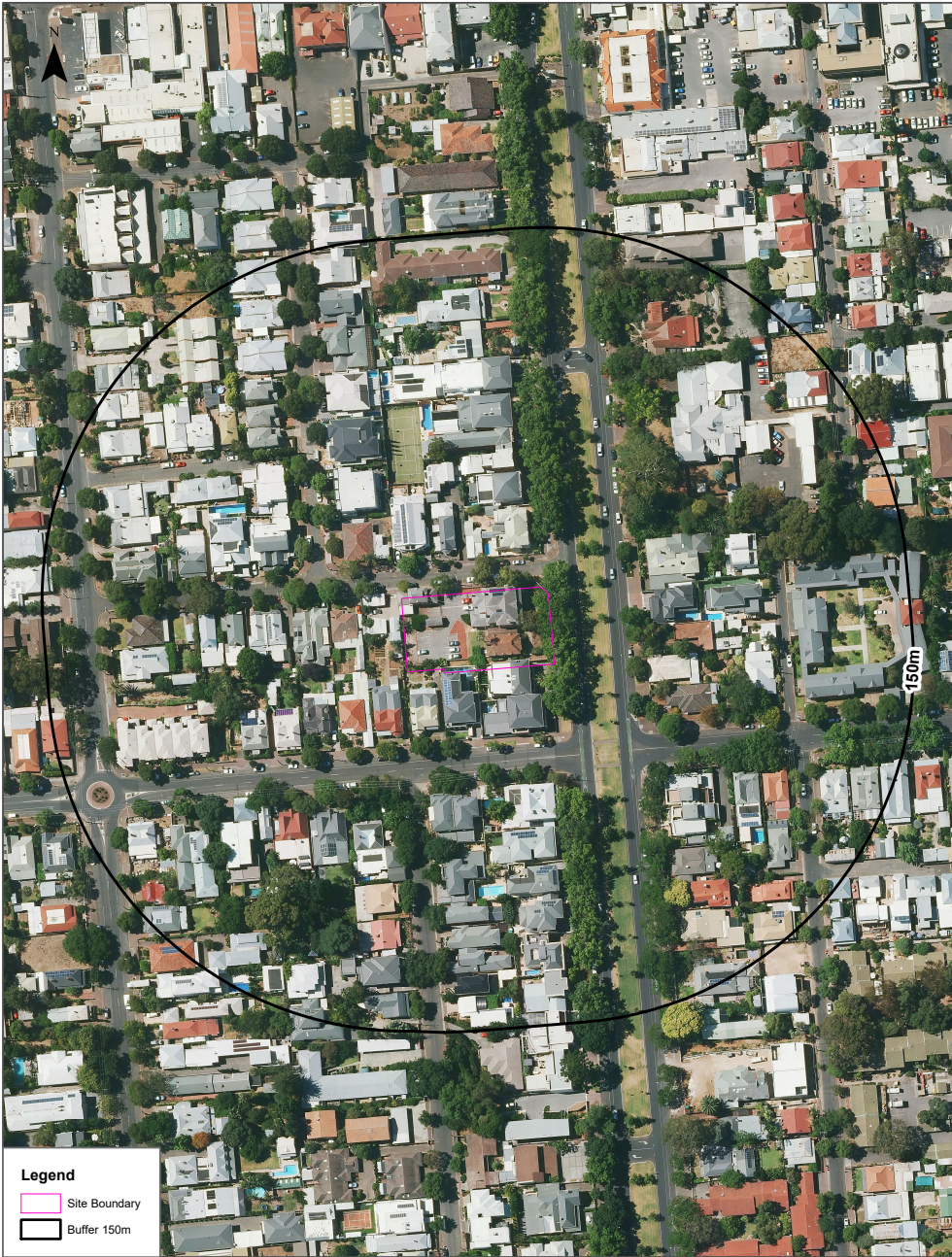


Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Attachment 1



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Aerial Imagery 2012

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Aerial Imagery 2009

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Attachment 1



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Attachment 1



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Source Aerial Imagery: © Aerometrex Pty Ltd | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Sources: Aerial Imagery: © South Australia Department for Environment & Water | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Attachment 1



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Sources: Aerial Imagery: © South Australia Department for Environment & Water | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|



Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Sources: Aerial Imagery: © South Australia Department for Environment & Water | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|

Attachment 1



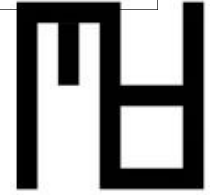
Legend

- Site Boundary
- Buffer 150m

| | | | |
|------------------------------------|---|--|--------------------|
| Scale: 0 25 50 75 100 Meters | Data Sources: Aerial Imagery: © South Australia Department for Environment & Water | Coordinate System: GDA 1994 MGA Zone 54 | Date: 09 July 2024 |
|------------------------------------|---|--|--------------------|





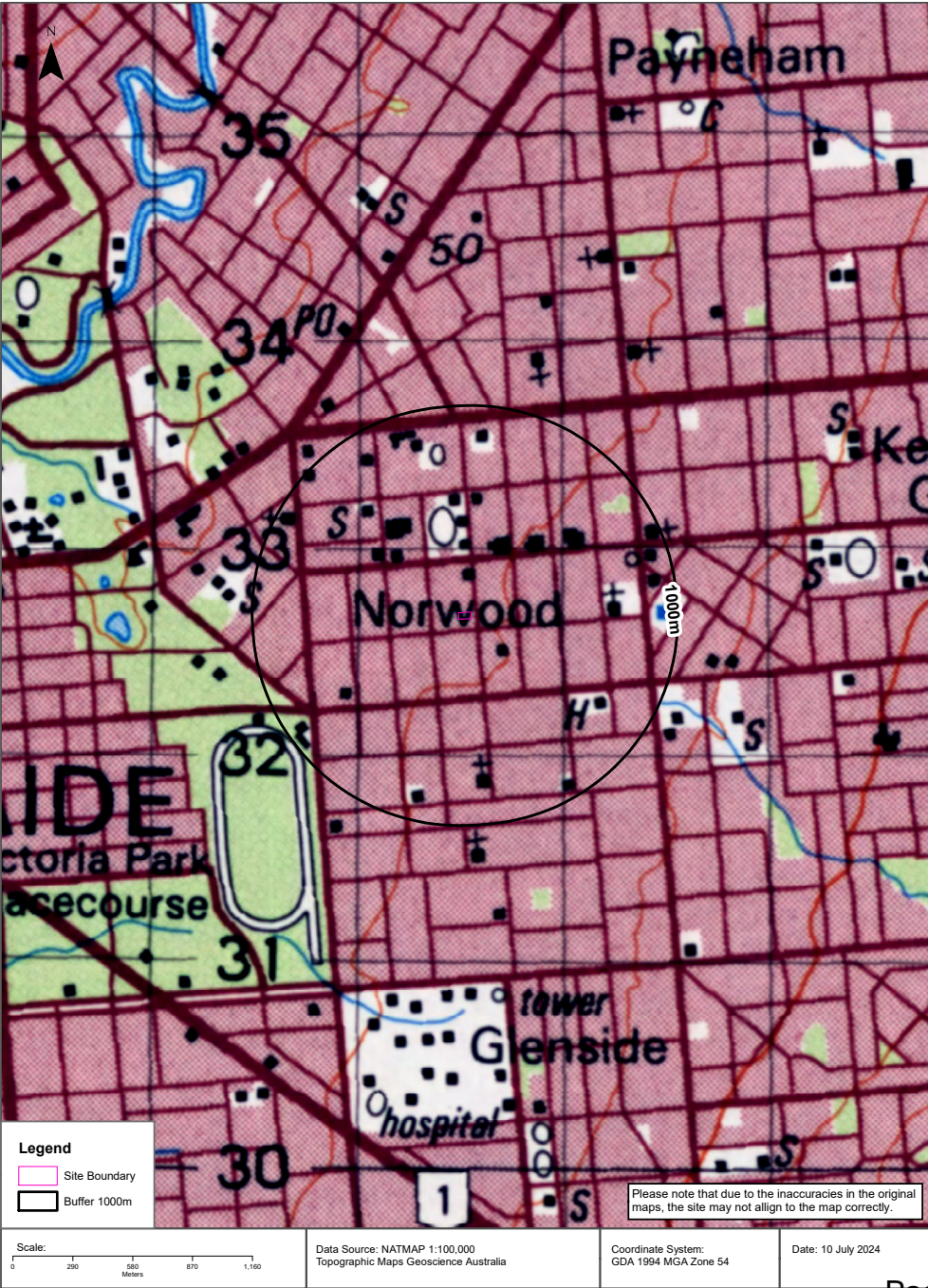


Appendix J

Historical Maps

Historical Map 1982

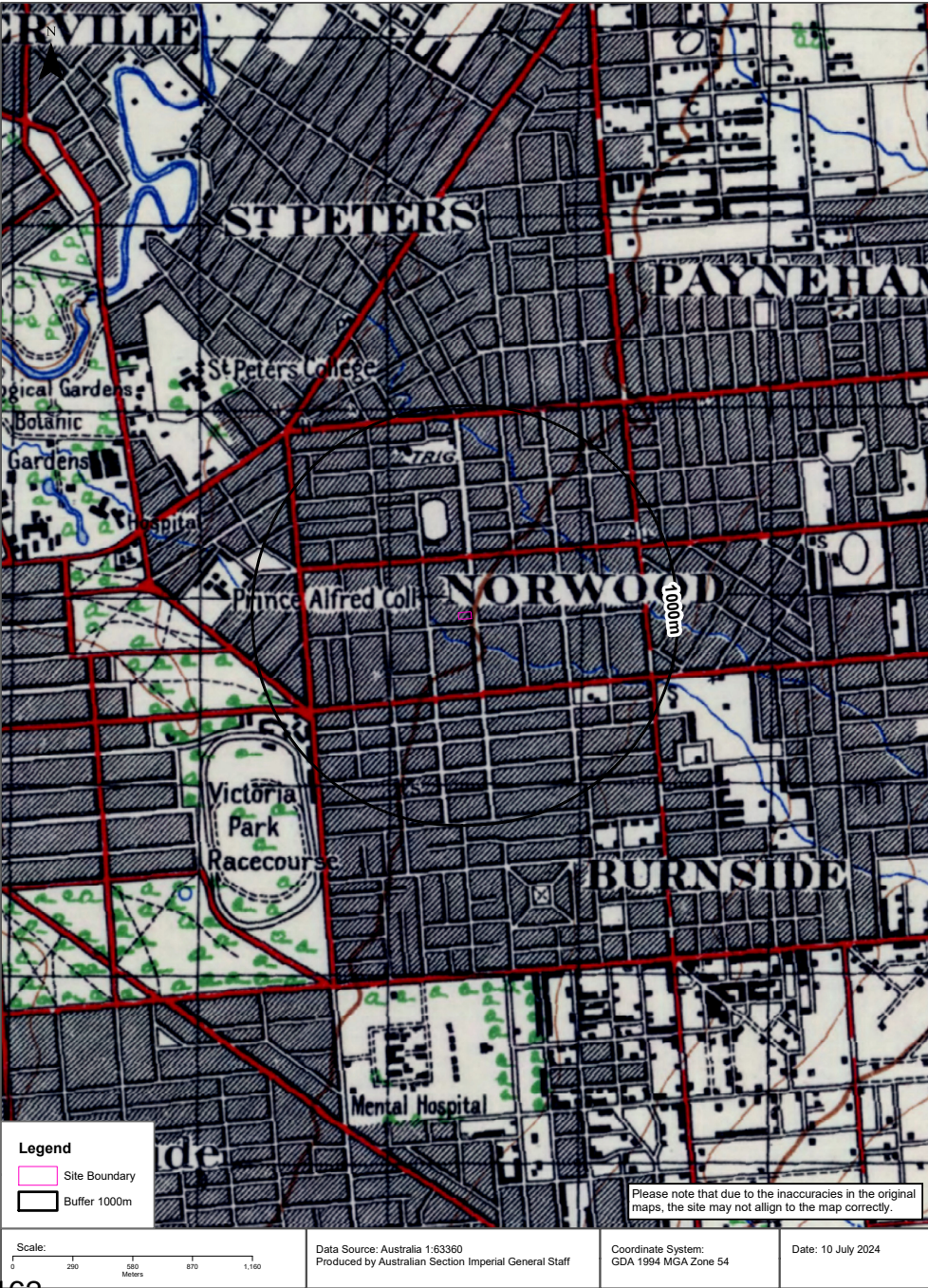
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Historical Map c.1937

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Attachment 1



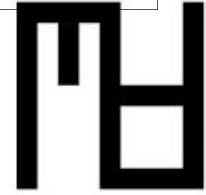
Historical Map 1926

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Attachment 1





Appendix K

SA EPA Search Information

Section 7 Searches + Site Contamination Index + Public Register Records

Mud Environmental
6 Crewe Street
HENLEY BEACH SA 5022

Contact: Section 7
Telephone: (08) 8204 2026
Email: epasection7@sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128
Email: epa.publicregister@sa.gov.au

18 July, 2024

EPA STATEMENT TO FORM 1 - CONTRACTS FOR SALE OF LAND OR BUSINESS

The EPA provides this statement to assist the vendor meet its obligations under section 7(1)(b) of the *Land and Business (Sale and Conveyancing) Act 1994*. A response to the questions prescribed in Schedule 1-Contracts for sale of land or business-forms (Divisions 1 and 2) of the *Land and Business (Sale and Conveyancing) Act 1994* is provided in relation to the land.

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 6158 Folio 814

Address Allotment 101 (D95918), 81 Osmond Terrace, NORWOOD SA 5067

Schedule – Division 1 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS OF MORTGAGES, CHARGES AND PRESCRIBED ENCUMBRANCES AFFECTING THE LAND

8. Environment Protection Act 1993

Does the EPA hold any of the following details relating to the *Environment Protection Act 1993*:

| | | |
|-----|--|----|
| 8.1 | Section 59 - Environment performance agreement that is registered in relation to the land. | NO |
| 8.2 | Section 93 - Environment protection order that is registered in relation to the land. | NO |
| 8.3 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 8.4 | Section 99 - Clean-up order that is registered in relation to the land. | NO |
| 8.5 | Section 100 - Clean-up authorisation that is registered in relation to the land. | NO |
| 8.6 | Section 103H - Site contamination assessment order that is registered in relation to the land. | NO |
| 8.7 | Section 103J - Site remediation order that is registered in relation to the land. | NO |

| | | |
|------|--|----|
| 8.8 | Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination). | NO |
| 8.9 | Section 103P - Notation of site contamination audit report in relation to the land. | NO |
| 8.10 | Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land. | NO |

Schedule – Division 2 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

3-Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

| | | |
|----|---|----|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| c) | details of a current exemption issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| d) | details of an exemption no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| e) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to operate a waste depot at the land? | NO |
| f) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to operate a waste depot at the land? | NO |
| g) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to produce waste of a prescribed kind (within the meaning of that Act) at the land? | NO |
| h) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to produce prescribed waste (within the meaning of that Act) at the land? | NO |

4-Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the <i>Environment Protection Act 1993</i>)? | NO |
|----|--|----|

| | | |
|----|--|----|
| b) | details of site contamination notified to the EPA under section 83A of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? | NO |
| d) | a copy of a site contamination audit report? | NO |
| e) | details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) | details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) | details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) | details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) | details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) | details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5-Pollution and site contamination on the land - other details held by EPA

Does the EPA hold any of the following details in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) | a copy of a pre-1 July 2009 site audit report? | NO |
| e) | details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |

All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete.

Mud Environmental
6 Crewe Street
HENLEY BEACH SA 5022

Contact: Section 7
Telephone: (08) 8204 2026
Email: epasection7@sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128
Email: epa.publicregister@sa.gov.au

18 July, 2024

EPA STATEMENT TO FORM 1 - CONTRACTS FOR SALE OF LAND OR BUSINESS

The EPA provides this statement to assist the vendor meet its obligations under section 7(1)(b) of the *Land and Business (Sale and Conveyancing) Act 1994*. A response to the questions prescribed in Schedule 1-Contracts for sale of land or business-forms (Divisions 1 and 2) of the *Land and Business (Sale and Conveyancing) Act 1994* is provided in relation to the land.

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 6158 Folio 815
Address Allotment 102 (D95918), 81 Osmond Terrace, NORWOOD SA 5067

Schedule – Division 1 – *Land and Business (Sale and Conveyancing) Regulations 2010*

PARTICULARS OF MORTGAGES, CHARGES AND PRESCRIBED ENCUMBRANCES AFFECTING THE LAND

8. *Environment Protection Act 1993*

Does the EPA hold any of the following details relating to the *Environment Protection Act 1993*:

| | | |
|-----|--|----|
| 8.1 | Section 59 - Environment performance agreement that is registered in relation to the land. | NO |
| 8.2 | Section 93 - Environment protection order that is registered in relation to the land. | NO |
| 8.3 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 8.4 | Section 99 - Clean-up order that is registered in relation to the land. | NO |
| 8.5 | Section 100 - Clean-up authorisation that is registered in relation to the land. | NO |
| 8.6 | Section 103H - Site contamination assessment order that is registered in relation to the land. | NO |
| 8.7 | Section 103J - Site remediation order that is registered in relation to the land. | NO |

| | | |
|------|--|----|
| 8.8 | Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination). | NO |
| 8.9 | Section 103P - Notation of site contamination audit report in relation to the land. | NO |
| 8.10 | Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land. | NO |

Schedule – Division 2 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

3-Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

| | | |
|----|---|----|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| c) | details of a current exemption issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| d) | details of an exemption no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| e) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to operate a waste depot at the land? | NO |
| f) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to operate a waste depot at the land? | NO |
| g) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to produce waste of a prescribed kind (within the meaning of that Act) at the land? | NO |
| h) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to produce prescribed waste (within the meaning of that Act) at the land? | NO |

4-Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the <i>Environment Protection Act 1993</i>)? | NO |
|----|--|----|

| | | |
|----|--|----|
| b) | details of site contamination notified to the EPA under section 83A of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? | NO |
| d) | a copy of a site contamination audit report? | NO |
| e) | details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) | details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) | details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) | details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) | details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) | details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5-Pollution and site contamination on the land - other details held by EPA

Does the EPA hold any of the following details in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) | a copy of a pre-1 July 2009 site audit report? | NO |
| e) | details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |

All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete.

Mud Environmental
6 Crewe Street
HENLEY BEACH SA 5022

Contact: Section 7
Telephone: (08) 8204 2026
Email: epasection7@sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128
Email: epa.publicregister@sa.gov.au

18 July, 2024

EPA STATEMENT TO FORM 1 - CONTRACTS FOR SALE OF LAND OR BUSINESS

The EPA provides this statement to assist the vendor meet its obligations under section 7(1)(b) of the *Land and Business (Sale and Conveyancing) Act 1994*. A response to the questions prescribed in Schedule 1-Contracts for sale of land or business-forms (Divisions 1 and 2) of the *Land and Business (Sale and Conveyancing) Act 1994* is provided in relation to the land.

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 6158 Folio 816
Address Allotment 103 (D95918), 18 Gloucester Terrace, NORWOOD SA 5067

Schedule – Division 1 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS OF MORTGAGES, CHARGES AND PRESCRIBED ENCUMBRANCES AFFECTING THE LAND

8. Environment Protection Act 1993

Does the EPA hold any of the following details relating to the *Environment Protection Act 1993*:

| | | |
|-----|--|----|
| 8.1 | Section 59 - Environment performance agreement that is registered in relation to the land. | NO |
| 8.2 | Section 93 - Environment protection order that is registered in relation to the land. | NO |
| 8.3 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 8.4 | Section 99 - Clean-up order that is registered in relation to the land. | NO |
| 8.5 | Section 100 - Clean-up authorisation that is registered in relation to the land. | NO |
| 8.6 | Section 103H - Site contamination assessment order that is registered in relation to the land. | NO |
| 8.7 | Section 103J - Site remediation order that is registered in relation to the land. | NO |

| | | |
|------|--|----|
| 8.8 | Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination). | NO |
| 8.9 | Section 103P - Notation of site contamination audit report in relation to the land. | NO |
| 8.10 | Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land. | NO |

Schedule – Division 2 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

3-Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

| | | |
|----|---|----|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| c) | details of a current exemption issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| d) | details of an exemption no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| e) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to operate a waste depot at the land? | NO |
| f) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to operate a waste depot at the land? | NO |
| g) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to produce waste of a prescribed kind (within the meaning of that Act) at the land? | NO |
| h) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to produce prescribed waste (within the meaning of that Act) at the land? | NO |

4-Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the <i>Environment Protection Act 1993</i>)? | NO |
|----|--|----|

| | | |
|----|--|----|
| b) | details of site contamination notified to the EPA under section 83A of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? | NO |
| d) | a copy of a site contamination audit report? | NO |
| e) | details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) | details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) | details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) | details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) | details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) | details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5-Pollution and site contamination on the land - other details held by EPA

Does the EPA hold any of the following details in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) | a copy of a pre-1 July 2009 site audit report? | NO |
| e) | details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |

All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete.

Mud Environmental
6 Crewe Street
HENLEY BEACH SA 5022

Contact: Section 7
Telephone: (08) 8204 2026
Email: epasection7@sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128
Email: epa.publicregister@sa.gov.au

18 July, 2024

EPA STATEMENT TO FORM 1 - CONTRACTS FOR SALE OF LAND OR BUSINESS

The EPA provides this statement to assist the vendor meet its obligations under section 7(1)(b) of the *Land and Business (Sale and Conveyancing) Act 1994*. A response to the questions prescribed in Schedule 1-Contracts for sale of land or business-forms (Divisions 1 and 2) of the *Land and Business (Sale and Conveyancing) Act 1994* is provided in relation to the land.

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 6158 Folio 817
Address Allotment 104 (D95918), 16 Gloucester Terrace, NORWOOD SA 5067

Schedule – Division 1 – *Land and Business (Sale and Conveyancing) Regulations 2010*

PARTICULARS OF MORTGAGES, CHARGES AND PRESCRIBED ENCUMBRANCES AFFECTING THE LAND

8. *Environment Protection Act 1993*

Does the EPA hold any of the following details relating to the *Environment Protection Act 1993*:

| | | |
|-----|--|----|
| 8.1 | Section 59 - Environment performance agreement that is registered in relation to the land. | NO |
| 8.2 | Section 93 - Environment protection order that is registered in relation to the land. | NO |
| 8.3 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 8.4 | Section 99 - Clean-up order that is registered in relation to the land. | NO |
| 8.5 | Section 100 - Clean-up authorisation that is registered in relation to the land. | NO |
| 8.6 | Section 103H - Site contamination assessment order that is registered in relation to the land. | NO |
| 8.7 | Section 103J - Site remediation order that is registered in relation to the land. | NO |

| | | |
|------|--|----|
| 8.8 | Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination). | NO |
| 8.9 | Section 103P - Notation of site contamination audit report in relation to the land. | NO |
| 8.10 | Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land. | NO |

Schedule – Division 2 – Land and Business (Sale and Conveyancing) Regulations 2010

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

3-Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

| | | |
|----|---|----|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct any prescribed activity of environmental significance under Schedule 1 of that Act at the land? | NO |
| c) | details of a current exemption issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| d) | details of an exemption no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> from the application of a specified provision of that Act in relation to an activity carried on at the land? | NO |
| e) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to operate a waste depot at the land? | NO |
| f) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to operate a waste depot at the land? | NO |
| g) | details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to produce waste of a prescribed kind (within the meaning of that Act) at the land? | NO |
| h) | details of a licence issued under the repealed <i>Waste Management Act 1987</i> to produce prescribed waste (within the meaning of that Act) at the land? | NO |

4-Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the <i>Environment Protection Act 1993</i>)? | NO |
|----|--|----|

| | | |
|----|--|----|
| b) | details of site contamination notified to the EPA under section 83A of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? | NO |
| d) | a copy of a site contamination audit report? | NO |
| e) | details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) | details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) | details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) | details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) | details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) | details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5-Pollution and site contamination on the land - other details held by EPA

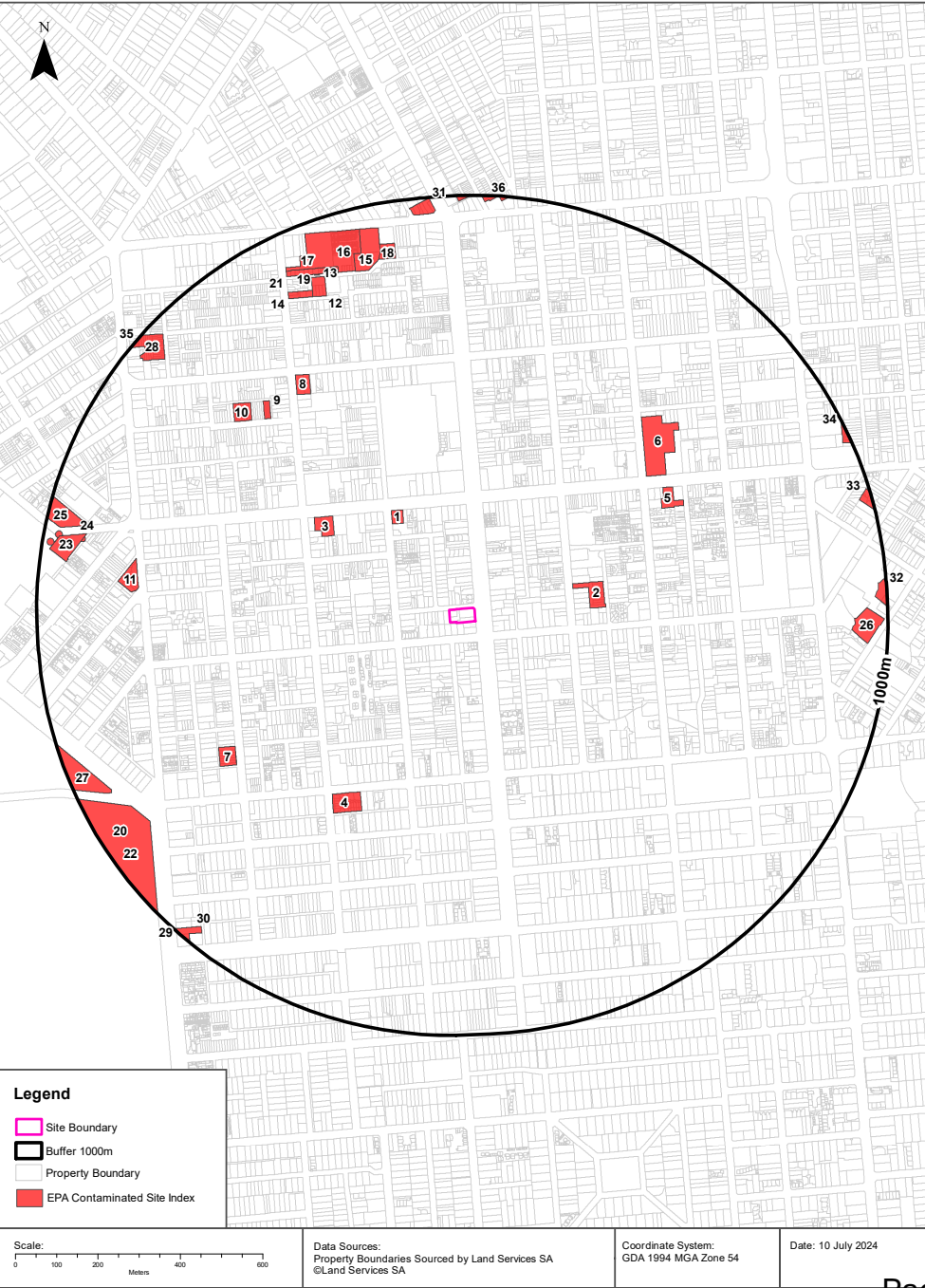
Does the EPA hold any of the following details in relation to the land or part of the land:

| | | |
|----|--|----|
| a) | a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) | details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) | a copy of a pre-1 July 2009 site audit report? | NO |
| e) | details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |

All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete.

EPA Site Contamination Index

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067



Attachment 1

EPA Contaminated Land

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

EPA Site Contamination Index

Sites on the EPA Contamination Index within the dataset buffer:

| Map ID | Notification No | Type | Address | Activity | Status | LocConf | Dist | Dir |
|--------|-----------------|------------------------------------|--|--|------------------|---------------|------|------------|
| 1 | 63255 - 01 | S83A Notification | 76 The Parade, Norwood 76 The Parade NORWOOD SA 5067 | Listed Substances (storage); Service stations | Current EPA List | Premise Match | 237m | North West |
| | | | | | | | | |
| 2 | 10059 - 001 | Pre 1 July 2009 Audit Report | Coke & Edward Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 243m | East |
| | 10059 | Pre 1 July 2009 Audit Notification | Coke & Edward Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 243m | East |
| | 15715 | 109 Notification | Coke & Edward Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 243m | East |
| 3 | 63141 | Audit Notification | 52 The Parade NORWOOD SA 5067 | Listed Substances (storage); Motor vehicle repair or maintenance; Service stations | Current EPA List | Premise Match | 332m | North West |
| | 63183 - 01 | S83A Notification | 52 The Parade, Norwood 52 The Parade NORWOOD SA 5067 | Motor vehicle repair or maintenance; Service stations | Current EPA List | Premise Match | 332m | North West |
| 4 | 12215 | SAHC | 38-44 Kensington Road ROSE PARK SA 5067 | Works depots | Current EPA List | Premise Match | 464m | South West |
| 5 | 60334 - 01 | S83A Notification | 206-208 The Parade Parade NORWOOD SA 5067 | Motor vehicle repair or maintenance | Current EPA List | Premise Match | 515m | North East |
| 6 | 10013 | Pre 1 July 2009 Audit Notification | 185 The Parade NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 526m | North East |
| | 10013 - 001 | Pre 1 July 2009 Audit Report | 185 The Parade NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 526m | North East |
| | 11406 | S83 Notification | 185 The Parade NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 526m | North East |
| 7 | 62034 - 001 | Audit Report | 53, 55-57 and 59 Charles Street NORWOOD SA 5067 | Dry cleaning; Electrical substations; Fill or soil importation; Laboratories; Metal coating, finishing or spray painting; Metal forging; Motor vehicle repair or maintenance; Service stations; Works depots | Current EPA List | Premise Match | 601m | South West |
| | 62034 | Audit Notification | 53, 55-57 and 59 Charles Street NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 601m | South West |
| 8 | 60671 | 109 Notification | 62 Beulah Road NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 624m | North West |
| 9 | 12345 - 001 | Pre 1 July 2009 Audit Report | 47 Fisher Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 633m | North West |
| | 12345 | Pre 1 July 2009 Audit Notification | 47 Fisher Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 633m | North West |
| 10 | 61457 - 02 | S83A Notification | 41 Fisher Street NORWOOD SA 5067 | Fill or soil importation; Works depots | Current EPA List | Premise Match | 663m | North West |
| | 61348 | Audit Notification | 41-43 Fisher Street NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 663m | North West |
| | 61457 - 01 | S83A Notification | Lots 1 and 2 41 Fisher Street NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 663m | North West |
| 11 | 11898 | Pre 1 July 2009 Audit Notification | 49 Fullarton Road KENT TOWN SA 5067 | Not recorded | Current EPA List | Premise Match | 755m | West |
| | 11650 | Pre 1 July 2009 Audit Termination | 49 Fullarton Road KENT TOWN SA 5067 | Not recorded | Current EPA List | Premise Match | 755m | West |
| | 11650 | Pre 1 July 2009 Audit Notification | 49 Fullarton Road KENT TOWN SA 5067 | Not recorded | Current EPA List | Premise Match | 755m | West |
| | 11898 - 001 | Pre 1 July 2009 Audit Report | 49 Fullarton Road KENT TOWN SA 5067 | Not recorded | Current EPA List | Premise Match | 755m | West |

Attachment 1

| Map ID | Notification No | Type | Address | Activity | Status | LocConf | Dist | Dir |
|--------|-----------------|------------------------------------|---|--|------------------|---------------|------|------------|
| 12 | 62095 - 001 | Audit Report | Lots 1, 2 & 30 Stephen Street NORWOOD SA 5067 | Fill or soil importation; Listed Substances (storage); Motor vehicle repair or maintenance | Current EPA List | Premise Match | 818m | North West |
| | 62095 | Audit Notification | Lots 1, 2 & 30 Stephen Street NORWOOD SA 5067 | Fill or soil importation; Motor vehicle repair or maintenance | Current EPA List | Premise Match | 818m | North West |
| 13 | 62081 | Audit Notification | Lot 2 Stephen Street NORWOOD SA 5067 | Listed Substances (storage) | Current EPA List | Premise Match | 822m | North West |
| | 62081 | Audit Termination | Lot 2 Stephen Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 822m | North West |
| 14 | 62755 - 01 | S83A Notification | 14 Sydenham Road, Norwood 14 Sydenham Road NORWOOD SA 5067 | Wineries or distilleries | Current EPA List | Premise Match | 828m | North West |
| | 62701 | Audit Notification | 14 Sydenham Road NORWOOD SA 5067 | Metal forging; Motor vehicle repair or maintenance | Current EPA List | Premise Match | 828m | North West |
| 15 | 62996 | Liability Transfer | Lot 300 Magill Road NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 846m | North |
| 16 | 62256 | Liability Transfer | 76 Magill Road NORWOOD SA 5067 | Ceramic works; Listed Substances (storage) | Current EPA List | Premise Match | 846m | North |
| | 62164 | 109 Notification | 76 Magill Road NORWOOD SA 5067 | Fill or soil importation; Liquid organic chemical substances-storage | Current EPA List | Premise Match | 846m | North |
| | 61219 | Liability Transfer | 76 Magill Road NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 846m | North |
| | 61361 | 109 Notification | 76 Magill Road NORWOOD SA 5067 | Fill or soil importation | Current EPA List | Premise Match | 846m | North |
| | 62163 | Audit Notification | 76 Magill Road NORWOOD SA 5067 | Ceramic works; Fill or soil importation; Listed Substances (storage); Plastics manufacture works | Current EPA List | Premise Match | 861m | North West |
| 17 | 62163 - 001 | Audit Report | 76 Magill Road NORWOOD SA 5067 | Ceramic works; Fill or soil importation; Plastics manufacture works | Current EPA List | Premise Match | 861m | North West |
| | 62163 - 002 | Audit Report | 76 Magill Road NORWOOD SA 5067 | Fill or soil importation; Plastics manufacture works | Current EPA List | Premise Match | 861m | North West |
| | 12093 | Pre 1 July 2009 Audit Notification | 17 Stephen Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 862m | North |
| 18 | 12093 | Pre 1 July 2009 Audit Termination | 17 Stephen Street NORWOOD SA 5067 | Not recorded | Current EPA List | Premise Match | 862m | North |
| | 62159 | S83 Notification | 76 Magill Road NORWOOD SA 5067 | Electrical transformer or capacitor works | Current EPA List | Premise Match | 869m | North West |
| 20 | 60514 | Audit Notification | Section 6016 Fullarton Road ADELAIDE SA 5000 | Fill or soil importation | Current EPA List | Premise Match | 872m | South West |
| | 60044 | S83 Notification | 0 East Terrace ADELAIDE SA 5000 | Not recorded | Current EPA List | Premise Match | 872m | South West |
| | 60514 | Audit Termination | Section 6016 Fullarton Road ADELAIDE SA 5000 | Not recorded | Current EPA List | Premise Match | 872m | South West |
| | 60123 - 01 | S83A Notification | East Parklands Cnr Gilles Street & East Terrace ADELAIDE SA 5000 | Not recorded | Current EPA List | Premise Match | 872m | South West |
| 21 | 62264 | Liability Transfer | Lots 4-21 Stephen Street NORWOOD SA 5067 | Ceramic works; Plastics manufacture works | Current EPA List | Premise Match | 874m | North West |
| 22 | 60227 | Audit Notification | Victoria Park Grandstand Precinct & Northern Playing Field South West Corner of Fullarton & Wakefield Road ADELAIDE SA 5000 | Not recorded | Current EPA List | Premise Match | 877m | South West |
| | 60227 | Audit Termination | Victoria Park Grandstand Precinct & Northern Playing Field South West Corner of Fullarton & Wakefield Road ADELAIDE SA 5000 | Not recorded | Current EPA List | Premise Match | 877m | South West |
| 23 | 61757 - 02 | S83A Notification | 43 The Parade West KENT TOWN SA 5067 | Dry cleaning | Current EPA List | Premise Match | 897m | West |
| | 61757 - 01 | S83A Notification | 43 The Parade West KENT TOWN SA 5067 | Dry cleaning | Current EPA List | Premise Match | 897m | West |

| Map ID | Notification No | Type | Address | Activity | Status | LocConf | Dist | Dir |
|--------|-----------------|------------------------------------|--|--|------------------|---------------|------|------------|
| 24 | 61791 | Audit Notification | 43 The Parade West KENT TOWN SA 5067 | Dry cleaning; Listed Substances (storage) | Current EPA List | Premise Match | 897m | West |
| 25 | 61843 - 01 | S83A Notification | 32A-34 & 36 The Parade West KENT TOWN SA 5067 | Dry cleaning; Motor vehicle repair or maintenance | Current EPA List | Premise Match | 898m | West |
| | 61792 | Audit Notification | 32A-36 The Parade West KENT TOWN SA 5067 | Dry cleaning; Motor vehicle repair or maintenance | Current EPA List | Premise Match | 898m | West |
| | 61792 - 001 | Audit Report | 32A-36 The Parade West KENT TOWN SA 5067 | Dry cleaning; Fill or soil importation; Motor vehicle repair or maintenance; Surface Coating; Textile operations | Current EPA List | Premise Match | 898m | West |
| 26 | 60626 | 109 Notification | 45 Thornton Street KENSINGTON SA 5068 | Fill or soil importation | Current EPA List | Premise Match | 911m | East |
| 27 | 61565 | 109 Notification | Corner Wakefield Street and East Terrace ADELAIDE SA 5000 | Fill or soil importation | Current EPA List | Premise Match | 915m | South West |
| 28 | 60690 | 109 Notification | 30 Fullarton Road & 23-35 Edmund Street NORWOOD SA 5067 | Fill or soil importation; Service stations | Current EPA List | Premise Match | 919m | North West |
| 29 | 61516 - 04 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Service stations | Current EPA List | Premise Match | 952m | South West |
| | 61516 - 01 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Service stations | Current EPA List | Premise Match | 952m | South West |
| | 61516 - 03 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Service stations | Current EPA List | Premise Match | 952m | South West |
| | 61516 - 02 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Service stations | Current EPA List | Premise Match | 952m | South West |
| | 61516 - 05 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Listed Substances (storage); Service stations | Current EPA List | Premise Match | 952m | South West |
| 30 | 61516 - 05 | S83A Notification | 151 Fullarton Road ROSE PARK SA 5067 | Listed Substances (storage); Service stations | Current EPA List | Premise Match | 952m | South West |
| 31 | 61243 - 01 | S83A Notification | 101 Magill Road STEPNEY SA 5069 | Service stations | Current EPA List | Premise Match | 959m | North |
| 32 | 12256 | SAHC | Allotment 107 Thornton Street KENSINGTON SA 5068 | Fill or soil importation | Current EPA List | Premise Match | 968m | East |
| 33 | 13132 | Pre 1 July 2009 Audit Notification | A97-99 9 Phillips Street KENSINGTON SA 5068 | Not recorded | Current EPA List | Premise Match | 968m | East |
| | 13132 - 001 | Pre 1 July 2009 Audit Report | A97-99 9 Phillips Street KENSINGTON SA 5068 | Not recorded | Current EPA List | Premise Match | 968m | East |
| 34 | 10011 - 001 | Pre 1 July 2009 Audit Report | 3-5 Union Street BEULAH PARK SA 5067 | Not recorded | Current EPA List | Premise Match | 978m | North East |
| | 10011 | Pre 1 July 2009 Audit Notification | 3-5 Union Street BEULAH PARK SA 5067 | Not recorded | Current EPA List | Premise Match | 978m | North East |
| | 10585 | SAHC | 3,5,5a Union Street BEULAH PARK SA 5067 | Not recorded | Current EPA List | Premise Match | 978m | North East |
| 35 | 10509 | SAHC | 30 Fullarton Road NORWOOD SA 5067 | Service stations | Current EPA List | Premise Match | 987m | North West |
| 36 | 62495 | Audit Notification | 2 Bennet Street, Maylands; 3, 6 and 8 Ann Street & 10 Wells Street STEPNEY SA 5069 | Fill or soil importation | Current EPA List | Premise Match | 987m | North |

Site Contamination Index Data Source: EPA South Australia



Attachment 1

EPA Public Register

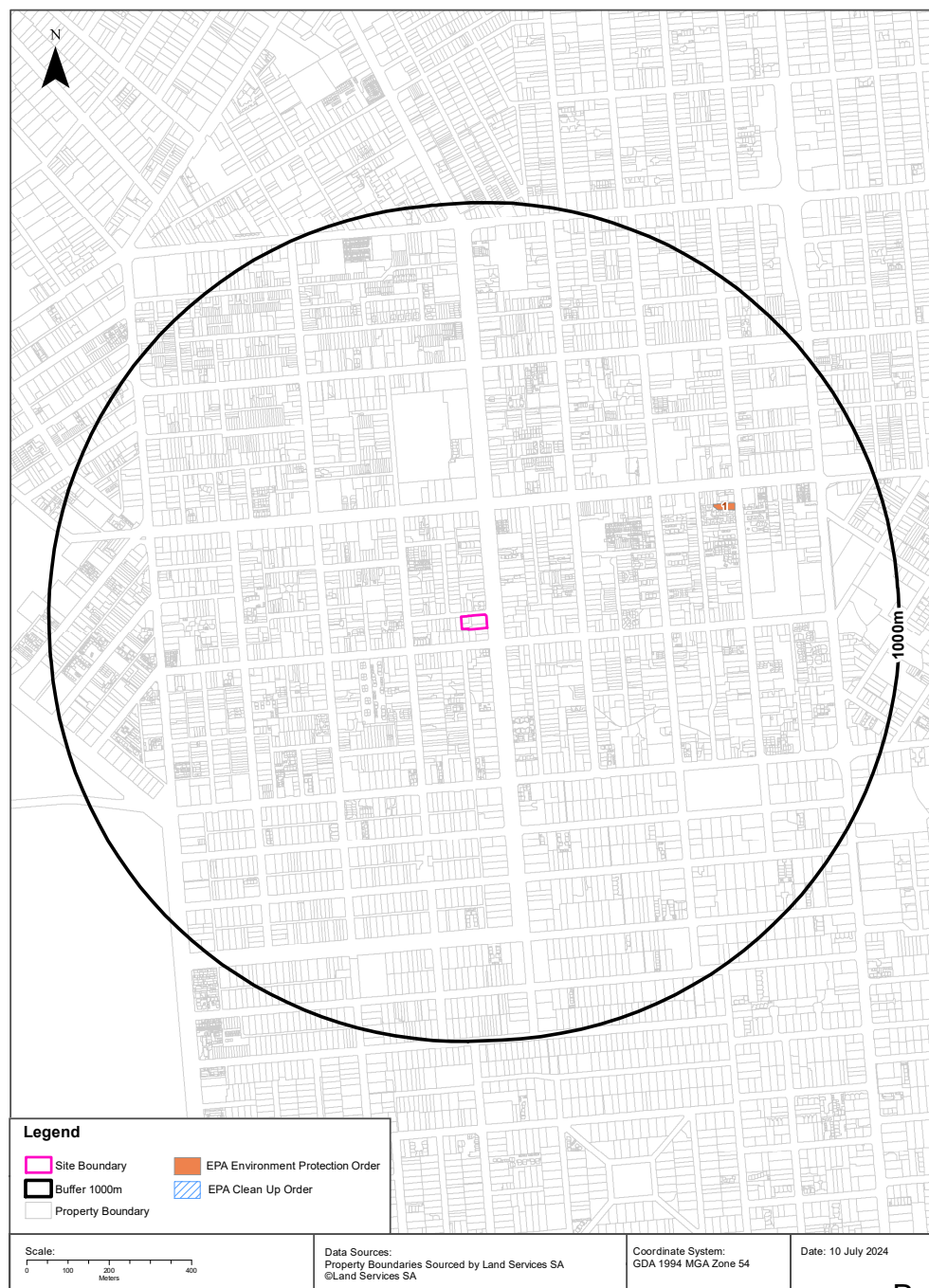
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

EPA Environment Protection and Clean Up Orders

EPA Environment Protection and Clean Up Orders, within the dataset buffer:

| Map ID | Record No. | Record Type | Record Status | Entity | Site Address | Activity | EPA Register Status | LocConf | Dist | Dir |
|--------|------------|------------------------------|---------------|--------|----------------------------------|--|----------------------|---------------|------|------------|
| 1 | 11125 | ENVIRONMENT PROTECTION ORDER | ISSUED | | Queen Street, Norwood SA 5067 | Caused environmental nuisance in the form of noise from an overflue. | Current EPA Register | Premise Match | 610m | North East |

Authorisations Data Source: EPA South Australia





EPA Public Register

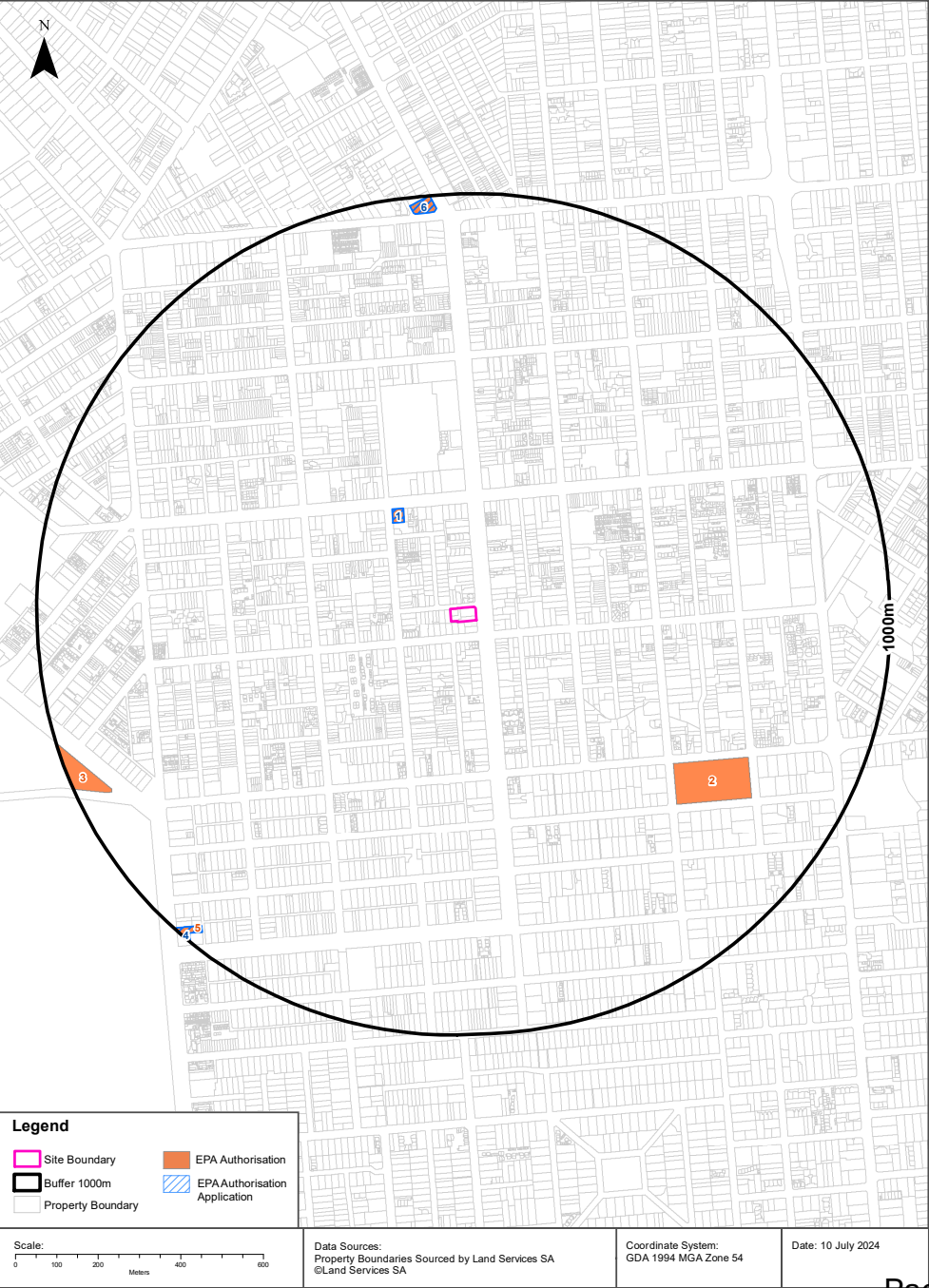
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

EPA Authorisations and Applications

EPA Authorisations and Authorisation Applications within the dataset buffer:

| Map ID | Record No. | Record Type | Record Status | Entity | Site Address | Activity | EPA Register Status | LocConf | Dist | Dir |
|--------|-------------|---------------------|-----------------------|---|---|--|----------------------|---------------|------|------------|
| 1 | 50940 | LICENCE | Transferred | SHAHIN ENTERPRISES PTY. LTD. | 76 The Parade, NORWOOD SA 5067 | Petrol stations | Current EPA Register | Premise Match | 237m | North West |
| | ENL0A 2G0J | LICENCE APPLICATION | Authorisation Updated | SHAHIN ENTERPRISES PTY. LTD. | 76 The Parade, NORWOOD SA 5067 | Petrol stations | Current EPA Register | Premise Match | 237m | North West |
| | 51108 | LICENCE | Issued | ON THE RUN PTY LTD | 76 The Parade, NORWOOD SA 5067 | Petrol stations | Current EPA Register | Premise Match | 237m | North West |
| 2 | 170 | LICENCE | Issued | BURNSIDE WAR MEMORIAL HOSPITAL INCORPORATED | 120 Kensington Road, TOORAK GARDENS SA 5065 | Activity producing listed waste | Current EPA Register | Premise Match | 587m | South East |
| 3 | 24043 | EXEMPTION | Cancelled | CORPORATION OF THE CITY OF ADELAIDE | | Chemical Dosing of Treated Wastewater | Current EPA Register | Premise Match | 915m | South West |
| 4 | ENL79 2FUXC | LICENCE APPLICATION | Authorisation Updated | EUREKA OPERATIONS PTY LTD | 151 Fullarton Road, ROSE PARK SA 5067 | Petrol stations | Current EPA Register | Premise Match | 952m | South West |
| | 50900 | LICENCE | Transferred | EUREKA OPERATIONS PTY LTD | 151 Fullarton Road, ROSE PARK SA 5067 | Petrol stations | Current EPA Register | Premise Match | 952m | South West |
| 5 | 51781 | LICENCE | Issued | VIVA ENERGY RETAIL PTY LTD | 151 Fullarton Road, ROSE PARK SA 5067 | Petrol stations | Current EPA Register | Premise Match | 952m | South West |
| 6 | 50838 | LICENCE | Issued | AMPOL AUSTRALIA PETROLEUM PTY LTD | 101 Magill Road, STEPNEY SA 5069 | Petrol stations | Current EPA Register | Premise Match | 959m | North |
| | ENL90 6LSSL | LICENCE APPLICATION | Authorisation Updated | CALTEX AUSTRALIA PETROLEUM PTY LTD | 101 Magill Road, STEPNEY SA 5069 | Petrol stations | Current EPA Register | Premise Match | 959m | North |
| | 31182 | LICENCE | Issued | ADELAIDE CITY COUNCIL | Various Locations Within The Corporation of The City of Adelaide Boundaries, SA | Dredging - for each day on which dredging occurs during the licence period | Current EPA Register | Suburb Match | - | - |

Authorisations Data Source: EPA South Australia



Contamination Assessment and Groundwater Prohibition Areas

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Contamination Assessment Areas

Contamination Assessment Areas published by the EPA within the dataset buffer:

| Map Id | Area Name | Map Link | Status | Location Confidence | Distance | Direction |
|--------|----------------------|----------|--------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | | |

Assessment Areas Data Source: EPA South Australia

Contamination Assessment and Groundwater Prohibition Areas

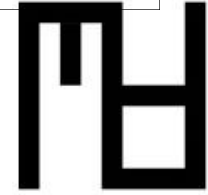
81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

EPA Groundwater Prohibition Areas

EPA Groundwater Prohibition Areas within the dataset buffer:

| Map Id | Site Name | Location Confidence | Distance | Direction |
|--------|----------------------|---------------------|----------|-----------|
| N/A | No records in buffer | | | |

Groundwater ProhibitionAreas Data Source: EPA South Australia



Appendix L

EPA + Air Services + Department of Defence Information

PFAS Investigation & Management Programs

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

EPA PFAS Site Investigations

Sites identified by the EPA as requiring PFAS contamination investigation within the dataset buffer:

| Record ID | Site Name | Document Link | Location Confidence | Distance | Direction |
|-----------|----------------------|---------------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | |

EPA PFAS Site Investigations Custodian: EPA South Australia

Defence PFAS Investigation & Management Program Investigation Sites

Sites being investigated by the Department of Defence for PFAS contamination within the dataset buffer:

| Map ID | Base Name | Address | Location Confidence | Distance | Direction |
|--------|----------------------|---------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | |

Defence PFAS Investigation & Management Program Data Custodian: Department of Defence, Australian Government

Defence PFAS Investigation & Management Program Management Sites

Sites being managed by the Department of Defence for PFAS contamination within the dataset buffer:

| Map ID | Base Name | Address | Location Confidence | Distance | Direction |
|--------|----------------------|---------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | |

Defence PFAS Investigation & Management Program Data Custodian: Department of Defence, Australian Government

Airservices Australia National PFAS Management Program

Sites being investigated or managed by Airservices Australia for PFAS contamination within the dataset buffer:

| Map ID | Site Name | Impacts | Location Confidence | Distance | Direction |
|--------|----------------------|---------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | |

Airservices Australia National PFAS Management Program Data Custodian: Airservices Australia

Defence Sites and Unexploded Ordnance

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Defence Controlled Areas (DCA)

Defence Controlled Areas provided by the Department of Defence within the dataset buffer:

| Site ID | Location Name | Loc Conf | Dist | Dir |
|---------|----------------------|----------|------|-----|
| N/A | No records in buffer | | | |

Defence Controlled Areas, Data Custodian: Department of Defence, Australian Government

Defence 3 Year Regional Contamination Investigation Program (RCIP)

Sites which have been assessed as part of the Defence 3 Year Regional Contamination Investigation Program within the dataset buffer:

| Property ID | Base Name | Address | Known Contamination | Loc Conf | Dist | Dir |
|-------------|----------------------|---------|---------------------|----------|------|-----|
| N/A | No records in buffer | | | | | |

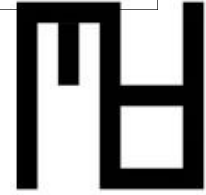
Defence 3 Year Regional Contamination Investigation Program, Data Custodian: Department of Defence, Australian Government

National Unexploded Ordnance (UXO)

Sites which have been assessed by the Department of Defence for the potential presence of unexploded ordnance within the dataset buffer:

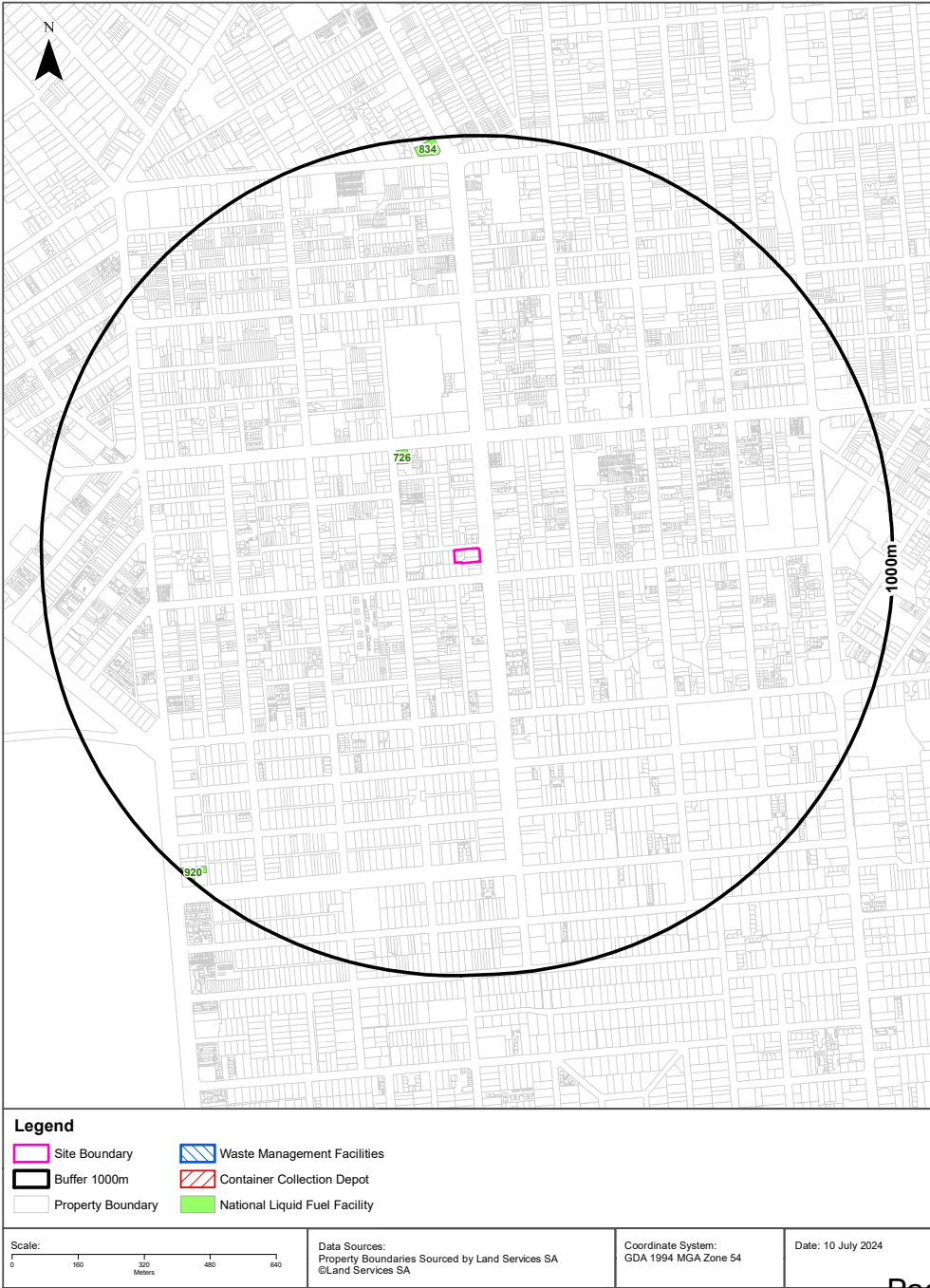
| Site ID | Location Name | Category | Area Description | Additional Information | Commonwealth | Loc Conf | Dist | Dir |
|---------|----------------------|----------|------------------|------------------------|--------------|----------|------|-----|
| N/A | No records in buffer | | | | | | | |

National Unexploded Ordnance (UXO), Data Custodian: Department of Defence, Australian Government



Appendix M

Waste Management & Liquid Fuel Facilities Information



Attachment 1

Waste Management and Liquid Fuel Facilities

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

National Waste Management Facilities Database

Sites on the National Waste Management Facilities Database within the dataset buffer:

| Map ID | Owner | Name | Address | Management Type | Facility Type | Status | Loc Conf | Dist | Dir |
|--------|----------------------|------|---------|-----------------|---------------|--------|----------|------|-----|
| N/A | No records in buffer | | | | | | | | |

Source: Waste Management Facilities Database
Creative Commons 4.0 © Commonwealth of Australia (Geoscience Australia) 2022

EPA Approved Container Collection Depots

EPA approved container collection depots within the dataset buffer:

| MapId | Name | Address | Suburb | Loc Conf | Distance | Direction |
|-------|----------------------|---------|--------|----------|----------|-----------|
| N/A | No records in buffer | | | | | |

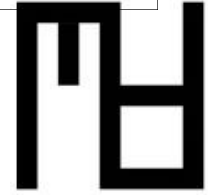
Collection Depot Data Source: EPA South Australia

National Liquid Fuel Facilities

National Liquid Fuel Facilities within the dataset buffer:

| Map Id | Owner | Name | Address | Suburb | Class | Operational Status | Operator | Revision Date | Loc Conf | Dist | Dir |
|--------|-----------------------|-------------------------|--------------------|-----------|----------------|--------------------|----------|---------------|---------------|------|------------|
| 726 | Peregrine Corporation | BP On The Run Norwood | 76 The Parade | Norwood | Petrol Station | Operational | | 13/07/2012 | Premise Match | 237m | North West |
| 920 | Shell | Coles Express Rose Park | 149 Fullarton Road | Rose Park | Petrol Station | Operational | | 25/07/2011 | Premise Match | 952m | South West |
| 834 | Caltex | Caltex Stepney | 101 Magill Road | Stepney | Petrol Station | Operational | | 25/07/2011 | Premise Match | 959m | North |

National Liquid Fuel Facilities Data Source: Geoscience Australia
Creative Commons 4.0 © Commonwealth of Australia



Appendix N

Local Council Records & Heritage Information

HERITAGE SURVEY : KENSINGTON & NORWOOD

Item/Place: House, Library and Stables Survey No.: 81osmond
Address: 81 Osmond Terrace, Norwood C.T. No.: 3935-45
Present Status: Nominated for State Register Date: December 1994



Description: A large and attractive two-storey Victorian sandstone mansion with attached library and rear stables. The main house has a hipped corrugated iron roof with front feature gablet and front verandah. Notable for its attractive design, the cast-iron work on the front verandah, its front bay window and its relative intactness. The adjacent library has a hipped tiled roof with feature front gablet and attractive stone front window. The rear stables building is a one and two storey sandstone and red brick building with truncated hipped roofs and is notable for its high quality of construction. The complex appears in good condition.

History: Erected in 1891 for Thomas Gepp, MP and Mayor of Norwood 1888-1890.

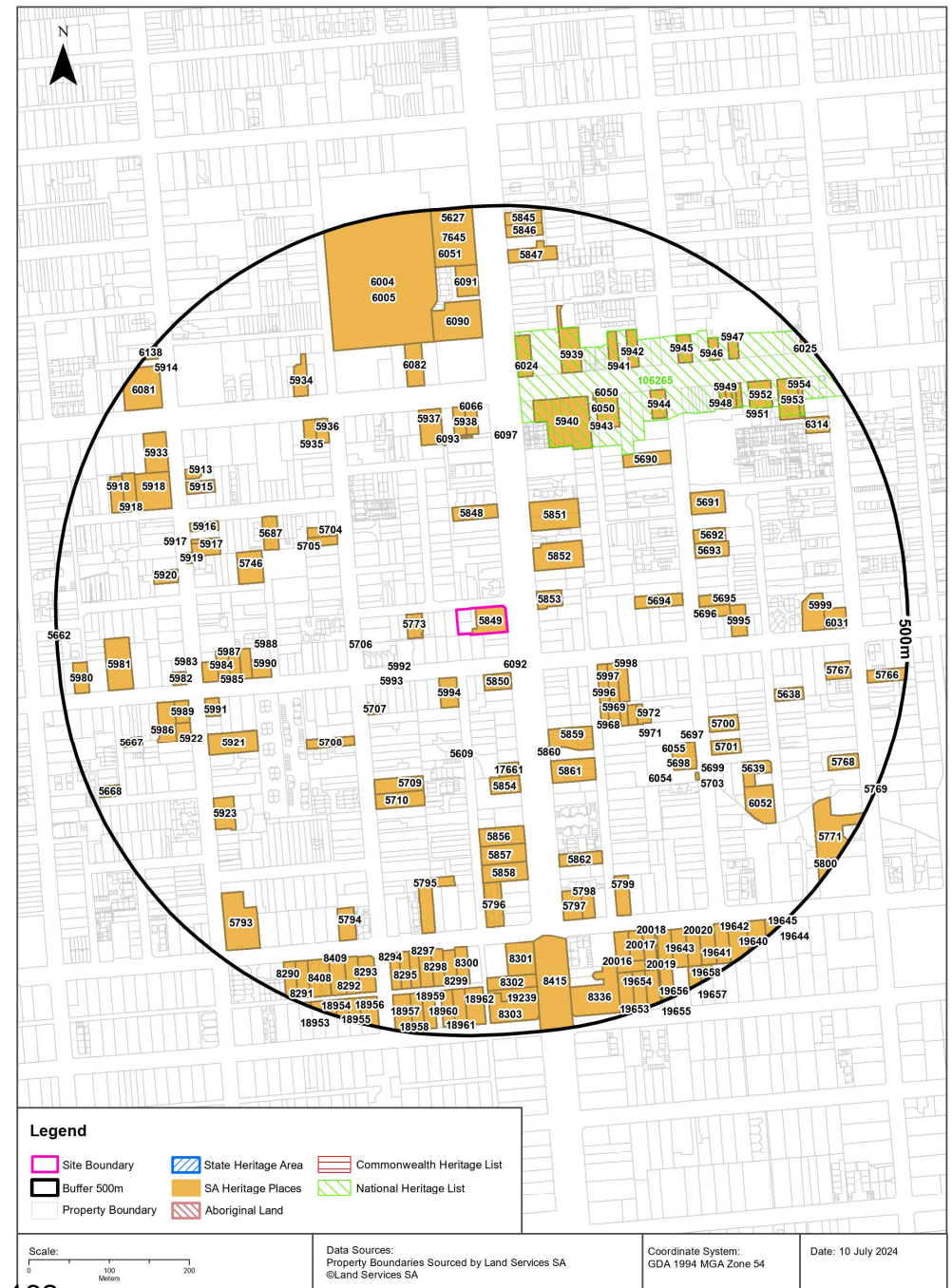
Streetscape Contribution: This large building is one of the most important on Osmond Terrace. It is a key corner building which forms part of an attractive streetscape of large imposing 1880's-1890's houses. It contributes significantly to the street's Victorian character.

Significance: (Relevant Development Act Criteria (Section 23(4)): (a),(b),(d)): This building is an excellent example of a high quality Victorian villa. It is associated with the 1880's-1890's boom period in Norwood's development (4a). The building is indicative of one way of life found in Norwood at that time. Its substantial nature illustrates the social importance given to living on Osmond Tce.(4b). It is an attractive building (4d) which forms part of an important group of larger Victorian/Edwardian houses in Osmond Tce.

Development Implication: Retention and protection of the original form of the building, its setting and all associated original building fabric, as viewed from the road.

RECOMMENDATION: Local Heritage Place

References:



Heritage

81 Osmond Terrace, 16 & 18 Gloucester Terrace, Norwood, SA 5067

Commonwealth Heritage List

What are the Commonwealth Heritage List Items located within the dataset buffer?

| Place Id | Name | Address | Place File No | Class | Status | Register Date | Distance | Direction |
|----------|----------------------|---------|---------------|-------|--------|---------------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch
Creative Commons 3.0 © Commonwealth of Australia <https://creativecommons.org/licenses/by/3.0/au/deed.en>

National Heritage List

What are the National Heritage List Items located within the dataset buffer?
Note. Please click on Place Id to activate a hyperlink to online website.

| Place Id | Name | Address | Place File No | Class | Status | Register Date | Distance | Direction |
|------------------------|---|-----------------------|---------------|----------|-----------------|---------------|----------|------------|
| 106265 | Australia's 3 Little Italys - The Parade Norwood Precinct | The Parade Norwood SA | 3/03/013/0030 | Historic | Nominated place | | 206m | North East |

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch
Creative Commons 3.0 © Commonwealth of Australia <https://creativecommons.org/licenses/by/3.0/au/deed.en>

State Heritage Areas

State Heritage Areas within the dataset buffer:

| Heritage Id | Name | Distance | Direction |
|-------------|----------------------|----------|-----------|
| N/A | No records in buffer | | |

Heritage Areas Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

SA Heritage Places

SA Heritage Places within the dataset buffer:

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|--------------------------------|----------------|------------------|--|------------|----------|------------|
| 5849 | 81 Osmond Terrace NORWOOD | Local | House | Victorian Sandstone Mansion | 24/08/2000 | 0m | On-site |
| 5853 | 94-96 Osmond Terrace NORWOOD | Local | House | Bluestone Victorian Dwelling | 24/08/2000 | 40m | East |
| 5773 | 6-8 Gloucester Terrace NORWOOD | Local | House | Victorian Duplex Bluestone Dwelling | 24/08/2000 | 43m | West |
| 5850 | 83 Osmond Terrace NORWOOD | Local | House | Semi-detached Victorian Residential Building | 24/08/2000 | 51m | South |
| 6092 | 85 Osmond Terrace NORWOOD | Local | House | Semi-detached Victorian Residential Building | 24/08/2000 | 51m | South |
| 5994 | 86 William Street NORWOOD | Local | House | Victorian Bluestone Cottage | 24/08/2000 | 53m | South West |
| 5852 | 92 Osmond Terrace NORWOOD | Local | House | Late Victorian Bluestone Dwelling | 24/08/2000 | 59m | North East |

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|-----------------------------------|----------------|---|---|------------|----------|------------|
| 5992 | 65 William Street NORWOOD | Local | Bridge | Single Vault Bridge & Parapet Wall | 24/08/2000 | 82m | South West |
| 5993 | 78 William Street NORWOOD | Local | Bridge | Single Vault Bridge & Parapet Wall | 24/08/2000 | 96m | South West |
| 5851 | 88-90 Osmond Terrace NORWOOD | Local | House | Federation Bungalow Dwelling | 24/08/2000 | 100m | North East |
| 5848 | 69 Osmond Terrace NORWOOD | Local | House | Bluestone Villa | 24/08/2000 | 111m | North |
| 5996 | 96 William Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 119m | South East |
| 5706 | 32 Elizabeth Street NORWOOD | Local | Bridge | Single Vault Bridge & Parapet Wall | 24/08/2000 | 121m | West |
| 5707 | 34 Elizabeth Street NORWOOD | Local | House | Victorian Cottage | 24/08/2000 | 129m | South West |
| 5997 | 98 William Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 130m | South East |
| 5859 | 112 Osmond Terrace NORWOOD | Local | House | Victorian Stone Dwelling | 24/08/2000 | 131m | South East |
| 5998 | 100 William Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 142m | South East |
| 5609 | 3a-3b Alfred Street NORWOOD | Local | Bridge | Bridge & Parapet | 24/08/2000 | 146m | South |
| 5968 | 2 Tolmer Place NORWOOD | Local | House | Victorian Red Brick & Bluestone Cottage | 24/08/2000 | 148m | South East |
| 5860 | 112-114 Osmond Terrace NORWOOD | Local | Bridge | Victorian Masonry Bridge & Red Brick Parapet to First Creek | 24/08/2000 | 153m | South East |
| 5969 | 4 Tolmer Place NORWOOD | Local | House | Victorian Red Brick & Bluestone Cottage | 24/08/2000 | 155m | South East |
| 5694 | 95 Edward Street NORWOOD | Local | House | Mid-Victorian Villa | 24/08/2000 | 161m | East |
| 17661 | 95 Osmond Terrace NORWOOD | Local | House | Victorian Bluestone Boundary Wall | 26/10/2006 | 164m | South |
| 5970 | 6 Tolmer Place NORWOOD | Local | House | Victorian Red Brick & Bluestone Cottage | 24/08/2000 | 166m | South East |
| 5705 | 15 Elizabeth Street NORWOOD | Local | House | Victorian Cottage | 24/08/2000 | 169m | North West |
| 5861 | 114A Osmond Terrace NORWOOD | Local | House | Federation Masonry Dwelling | 24/08/2000 | 171m | South East |
| 5704 | 13 Elizabeth Street NORWOOD | Local | House | Mid-Victorian Bluestone Cottage | 24/08/2000 | 175m | North West |
| 5971 | 8 Tolmer Place NORWOOD | Local | House | Victorian Red Brick & Bluestone Cottage | 24/08/2000 | 175m | South East |
| 5854 | 97 Osmond Terrace NORWOOD | Local | Fence/Wall | Victorian Bluestone Boundary Wall | 24/08/2000 | 180m | South |
| 5708 | 37 Elizabeth Street NORWOOD | Local | House | Victorian Sandstone & Red Brick Dwelling | 24/08/2000 | 181m | South West |
| 5709 | 48 Elizabeth Street NORWOOD | Local | House | Late Victorian Sandstone Dwelling | 24/08/2000 | 182m | South West |
| 5972 | 10 Tolmer Place NORWOOD | Local | House | Victorian Red Brick & Bluestone Cottage | 24/08/2000 | 184m | South East |
| 5710 | 50 Elizabeth Street NORWOOD | Local | House | Late Victorian Sandstone Dwelling | 24/08/2000 | 199m | South West |
| 6093 | Laneway (Osmond & Essery) NORWOOD | Local | Linear features - non access unspecified - eg closed roads fences drain etc | Stone Road Drain - operable within laneway | 24/08/2000 | 205m | North |

Attachment 1

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|------------------------------|----------------|--|--|------------|----------|------------|
| 5940 | 120-132 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shops & Dwellings | 24/08/2000 | 206m | North East |
| 5937 | 102 The Parade NORWOOD | Local | Business House - Offices | Red Brick & Sandstone Two Storey Victorian Dwelling | 20/09/2001 | 208m | North |
| 6097 | Osmond Terrace NORWOOD | State | Monument - Column - Cairn - Cross - Shrine - Marker - Statue | Norwood Soldiers Memorial | | 210m | North |
| 5938 | 106-108 The Parade NORWOOD | Local | Business: Commercial/Retail | Inter-War Free Classical Sandstone Shop & Attached Californian Bungalow Dwelling | 24/08/2000 | 216m | North |
| 6066 | 110 The Parade NORWOOD | State | Hall | Norwood Institute | | 216m | North |
| 5690 | 65 Edward Street NORWOOD | Local | House | Late Victorian Sandstone Villa | 24/08/2000 | 229m | North East |
| 5687 | 12 Edsall Street NORWOOD | Local | House | Mid-Victorian Cottage | 24/08/2000 | 234m | West |
| 5990 | 49 William Street NORWOOD | Local | House | Victorian Bluestone Cottage | 24/08/2000 | 237m | West |
| 5695 | 96 Edward Street NORWOOD | Local | House | Victorian Bluestone Duplex Villa | 24/08/2000 | 241m | East |
| 5696 | 98 Edward Street NORWOOD | Local | House | Victorian Bluestone Duplex Villa | 24/08/2000 | 241m | East |
| 5697 | 103 Edward Street NORWOOD | Local | House | Victorian Terrace Development | 24/08/2000 | 242m | South East |
| 5698 | 105 Edward Street NORWOOD | Local | House | Victorian Terrace Development | 24/08/2000 | 242m | South East |
| 5699 | 107 Edward Street NORWOOD | Local | House | Victorian Terrace Development | 24/08/2000 | 242m | South East |
| 5746 | 5 Free Street NORWOOD | Local | House | Bluestone Dwelling | 24/08/2000 | 242m | West |
| 6054 | 109 Edward Street NORWOOD | Local | Flat - Units | Victorian Terrace Development | 24/08/2000 | 242m | South East |
| 6055 | 111 Edward Street NORWOOD | Local | Flat - Units | Victorian Terrace Development | 24/08/2000 | 242m | South East |
| 5856 | 103 Osmond Terrace NORWOOD | Local | House | Bluestone Edwardian Villa | 24/08/2000 | 243m | South |
| 5693 | 86 Edward Street NORWOOD | Local | House | Late Victorian Bluestone Villa | 24/08/2000 | 245m | East |
| 5692 | 84 Edward Street NORWOOD | Local | House | Late Victorian Sandstone Villa | 24/08/2000 | 249m | East |
| 5943 | 134a-134c The Parade NORWOOD | Local | Religious Building | 'Baptist Centre', Victorian Bluestone Building (original building only) | 20/09/2001 | 251m | North East |
| 6050 | 134 The Parade NORWOOD | State | Religious Building | Former Norwood Baptist Church and Fence (1869 building only) | | 251m | North East |
| 5691 | 80 Edward Street NORWOOD | Local | House | Mid-Victorian Bluestone Villa | 24/08/2000 | 260m | North East |
| 5988 | 47 William Street NORWOOD | Local | House | Victorian Cottage | 20/09/2001 | 261m | West |
| 5936 | 72-74 The Parade NORWOOD | Local | Business: Commercial/Retail | Two Storey Victorian Sandstone Shops & Dwelling | 20/09/2001 | 262m | North West |
| 5857 | 105 Osmond Terrace NORWOOD | Local | House | Bluestone Victorian Dwelling | 24/08/2000 | 265m | South |
| 5935 | 70 The Parade NORWOOD | Local | Hall | Federation Free Classical Hall 'Vinnies' | 24/08/2000 | 271m | North West |
| 5700 | 108 Edward Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 272m | South East |
| 5985 | 43 William Street NORWOOD | Local | House | Victorian Bluestone Cottage Duplex | 24/08/2000 | 274m | West |
| 5987 | 45 William Street NORWOOD | Local | House | Victorian Bluestone Cottage Duplex | 24/08/2000 | 274m | West |

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|-------------------------------|----------------|-----------------------------|--|------------|----------|------------|
| 5921 | 102 Sydenham Road NORWOOD | Local | House | Victorian Sandstone Dwelling | 24/08/2000 | 278m | South West |
| 5995 | 93 William Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 279m | East |
| 6082 | 77-79 The Parade NORWOOD | Local | Religious Building | Gothic Revival Sandstone Church 'St Giles Presbyterian Church' | 20/09/2001 | 283m | North |
| 5862 | 124 Osmond Terrace NORWOOD | Local | House | Victorian Masonry Villa | 24/08/2000 | 286m | South |
| 6024 | 97 The Parade NORWOOD | State | Hotel - Motel - Inn | Norwood Hotel | | 286m | North |
| 5701 | 112 Edward Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 288m | South East |
| 5858 | 107 Osmond Terrace NORWOOD | Local | House | Late Victorian Bluestone Villa | 24/08/2000 | 288m | South |
| 5984 | 41 William Street NORWOOD | Local | House | Victorian Sandstone Cottage | 24/08/2000 | 288m | West |
| 5702 | 111-113 Edward Street NORWOOD | Local | Bridge | Bridge & Parapet | 24/08/2000 | 293m | South East |
| 5939 | 113-119 The Parade NORWOOD | Local | Business: Commercial/Retail | Federation Red Brick Shops | 24/08/2000 | 299m | North |
| 5944 | 140-144 The Parade NORWOOD | Local | Business: Commercial/Retail | 1920s Brick Two-Storey Shop | 24/08/2000 | 299m | North East |
| 5795 | 87 Kensington Road NORWOOD | Local | House | Victorian Bluestone Two-Storey Dwelling | 24/08/2000 | 302m | South |
| 5917 | 76-78 Sydenham Road NORWOOD | Local | Business: Commercial/Retail | Mid-Victorian Attached Dwellings | 24/08/2000 | 302m | West |
| 5983 | 39 William Street NORWOOD | Local | Business: Commercial/Retail | Federation Corner Shop & Attached Dwelling | 24/08/2000 | 303m | West |
| 5991 | 50 William Street NORWOOD | Local | House | Victorian Masonry Corner Dwelling | 20/09/2001 | 309m | West |
| 5796 | 97 Kensington Road NORWOOD | Local | House | Victorian Bluestone Two-Storey Dwelling | 24/08/2000 | 310m | South |
| 5916 | 72 Sydenham Road NORWOOD | Local | Business: Commercial/Retail | Victorian Corner Shop | 24/08/2000 | 313m | West |
| 5703 | 114-116 Edward Street NORWOOD | Local | Bridge | Bridge & Parapet Wall | 24/08/2000 | 317m | South East |
| 5941 | 127 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Sandstone & Red Brick Shop & Dwelling | 24/08/2000 | 324m | North East |
| 5934 | 61 The Parade NORWOOD | Local | House | Single Storey Victorian Bluestone Villa | 24/08/2000 | 325m | North West |
| 5797 | 99 Kensington Road NORWOOD | Local | House | Victorian/Edwardian Sandstone Villa | 20/09/2001 | 331m | South |
| 5799 | 105 Kensington Road NORWOOD | Local | House | Edwardian/Federation Queen Anne Sandstone Villa | 24/08/2000 | 333m | South East |
| 5919 | 78-80 Sydenham Road NORWOOD | Local | Bridge | Victorian Masonry Bridge & Red Brick Parapet to First Creek | 24/08/2000 | 334m | West |
| 5639 | 21 Birrell Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 335m | South East |
| 5798 | 101 Kensington Road NORWOOD | Local | House | Edwardian Bluestone Villa | 24/08/2000 | 335m | South |
| 5915 | 68 Sydenham Road NORWOOD | Local | House | Victorian Bluestone Cottage | 24/08/2000 | 335m | North West |

Attachment 1

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|---------------------------------|----------------|--|--|------------|----------|------------|
| 6090 | 45-47 Osmond Terrace NORWOOD | Local | Primary School | Federation Arts & Crafts School Building & Walls | 20/09/2001 | 335m | North |
| 5942 | 131 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian/Edwardian Stone Shop & Dwelling | 20/09/2001 | 336m | North East |
| 6004 | 4A Woods Street NORWOOD | Local | Hall | Inter-War Stripped Classical Sandstone Building 'RSL Hall, Norwood Oval Complex' | 24/08/2000 | 336m | North |
| 6005 | 4 Woods Street NORWOOD | Local | Sporting Arena - Oval | Norwood Oval Complex | 24/08/2000 | 336m | North |
| 5638 | 4-6 Birrell Street NORWOOD | Local | House | Victorian Italianate - Bluestone, Semi-Detached Dwelling | 24/08/2000 | 340m | East |
| 5982 | 37 William Street NORWOOD | Local | Business: Commercial/Retail | Victorian Corner Shop & Attached Dwelling | 24/08/2000 | 343m | West |
| 5923 | 110 Sydenham Road NORWOOD | Local | House | Victorian Bluestone Dwelling | 24/08/2000 | 346m | South West |
| 5989 | 48 William Street NORWOOD | Local | House | Victorian Masonry Building | 24/08/2000 | 347m | West |
| 5920 | 91 Sydenham Road NORWOOD | Local | House | Victorian Cottage | 24/08/2000 | 348m | West |
| 5922 | 103A Sydenham Road NORWOOD | Local | Hall | Victorian Red Brick & Sandstone Hall Former Community Hall | 24/08/2000 | 352m | West |
| 6052 | 27-27A Birrell Street NORWOOD | Local | House | Mid-Victorian Return Gable Villa | 24/08/2000 | 353m | South East |
| 5913 | 66 Sydenham Road NORWOOD | Local | House | Victorian Cottage | 24/08/2000 | 360m | North West |
| 5986 | 44 William Street NORWOOD | Local | House | Victorian Sandstone Dwelling | 24/08/2000 | 364m | West |
| 5794 | 75 Kensington Road NORWOOD | Local | House | Victorian Sandstone & Bluestone Villa | 20/09/2001 | 365m | South West |
| 5948 | 160 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shop | 24/08/2000 | 366m | North East |
| 5999 | 101 William Street NORWOOD | Local | House | Victorian/Edwardian Red Brick Dwelling | 20/09/2001 | 368m | East |
| 5949 | 162 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shop | 24/08/2000 | 372m | North East |
| 5945 | 145 The Parade NORWOOD | Local | Business: Commercial/Retail | Federation Brick Shop 'Buongiorno' | 24/08/2000 | 374m | North East |
| 5918 | 77 Sydenham Road NORWOOD | Local | House | High Victorian Dwelling | 24/08/2000 | 377m | West |
| 5950 | 164 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shop | 24/08/2000 | 378m | North East |
| 8415 | Prescott Terrace TOORAK GARDENS | State | Monument - Column - Cairn - Cross - Shrine - Marker - Statue | Soldier's Memorial Avenue | | 381m | South |
| 5951 | 166 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shop | 24/08/2000 | 382m | North East |
| 8301 | 1 Prescott Terrace ROSE PARK | Local | House | House | 11/03/2005 | 387m | South |
| 6091 | 41 Osmond Terrace NORWOOD | Local | House | Federation Red Brick Dwelling School Building | 24/08/2000 | 389m | North |
| 8300 | 74 Kensington Road ROSE PARK | Local | Medical Centre - Clinic - Surgery | Consulting rooms - former house | 11/03/2005 | 389m | South |
| 8298 | 70 Kensington Road ROSE PARK | Local | Medical Centre - Clinic - Surgery | Consulting rooms - former house | 11/03/2005 | 392m | South |
| 8299 | 72 Kensington Road ROSE PARK | Local | Business House - Offices | Offices - former house | 11/03/2005 | 393m | South |
| 5952 | 168-178 The Parade NORWOOD | Local | Business: Commercial/Retail | Row of Victorian Shops | 24/08/2000 | 394m | North East |

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|-----------------------------------|----------------|-----------------------------------|---|------------|----------|------------|
| 6031 | 105 William Street NORWOOD | State | House | Former Coach and Horses Inn | | 395m | East |
| 8297 | 68 Kensington Road ROSE PARK | Local | Medical Centre - Clinic - Surgery | Consulting rooms - former house | 11/03/2005 | 395m | South |
| 20016 | 78 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 397m | South East |
| 5767 | 93 George Street NORWOOD | Local | House | Victorian Bluestone Cottage | 24/08/2000 | 398m | East |
| 5933 | 44 The Parade NORWOOD | Local | House | Two Storey Victorian Bluestone Hotel 'Old Colonist Tavern' | 24/08/2000 | 398m | North West |
| 8296 | 66 Kensington Road ROSE PARK | Local | House | House | 11/03/2005 | 398m | South |
| 5946 | 151 The Parade NORWOOD | Local | Business House - Offices | Federation Commercial Building with Shops, Offices & Dwelling | 20/09/2001 | 400m | North East |
| 8295 | 64 Kensington Road ROSE PARK | Local | Business House - Offices | Offices - former house | 11/03/2005 | 400m | South |
| 20017 | 80 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 402m | South East |
| 8294 | 62 Kensington Road ROSE PARK | Local | Business House - Offices | Offices - former house | 11/03/2005 | 403m | South |
| 20018 | 82 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 408m | South East |
| 5981 | 27 William Street NORWOOD | Local | House | Victorian Bluestone Dwelling | 24/08/2000 | 410m | West |
| 5667 | 2 Cleve Street NORWOOD | Local | House | Victorian Cottage | 24/08/2000 | 415m | West |
| 5953 | 186 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Shop | 24/08/2000 | 416m | North East |
| 8293 | 60 Kensington Road ROSE PARK | Local | Business House - Offices | Offices - former house | 11/03/2005 | 416m | South |
| 20019 | 84 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 416m | South East |
| 5793 | 59 Kensington Road NORWOOD | Local | House | Two Storey Victorian Dwelling | 24/08/2000 | 418m | South West |
| 5947 | 157-159 The Parade NORWOOD | Local | Business: Commercial/Retail | Victorian Red Brick Shop | 24/08/2000 | 418m | North East |
| 8292 | 58 Kensington Road ROSE PARK | Local | House | House | 11/03/2005 | 421m | South |
| 19643 | 86 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 423m | South East |
| 8409 | 54-56 Kensington Road ROSE PARK | State | Flat - Units | Dwellings (One of two pairs of attached houses) | | 427m | South |
| 5627 | 96 Beulah Road NORWOOD | Local | Primary School | Victorian Sandstone Dwelling | 24/08/2000 | 428m | North |
| 6051 | 96 Beulah Road NORWOOD | Local | Primary School | School Building - Victorian Bluestone | 24/08/2000 | 428m | North |
| 7645 | 96 Beulah Road NORWOOD | Local | Primary School | School Building - Victorian Sandstone & Red Brick | 24/08/2000 | 428m | North |
| 8302 | 3 Prescott Terrace ROSE PARK | Local | House | House and Fence | 11/03/2005 | 428m | South |
| 5768 | 103 George Street NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 429m | East |
| 5847 | 54 Osmond Terrace NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 429m | North |

Attachment 1

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|-----------------------------------|----------------|--------------------------|---|------------|----------|------------|
| 20020 | 88 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 431m | South East |
| 8336 | 2 Prescott Terrace TOORAK GARDENS | Local | House | House and Fence - Cramond | 11/03/2005 | 433m | South |
| 6314 | 55 George Street NORWOOD | Local | Religious Building | Victorian Gothic Citadel | 24/08/2000 | 434m | North East |
| 8408 | 50-52 Kensington Road ROSE PARK | State | Flat - Units | Dwelling (One of two pairs of attached houses) | | 436m | South West |
| 5771 | 119 George Street NORWOOD | Local | House | Georgian/Victorian Dwelling | 20/09/2001 | 438m | South East |
| 5954 | 188 The Parade NORWOOD | Local | Business House - Offices | Victorian/Federation Masonry Dwelling & Bank | 24/08/2000 | 439m | North East |
| 18962 | 61 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 439m | South |
| 19639 | 90 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 439m | South East |
| 18961 | 59 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 441m | South |
| 18960 | 57 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 443m | South |
| 19239 | 5 Prescott Terrace TOORAK GARDENS | Contributory | House | | 25/01/2007 | 444m | South |
| 6081 | 41 The Parade NORWOOD | Local | Warehouse | Red Brick Federation Warehouse Factory Building | 24/08/2000 | 445m | North West |
| 18959 | 55 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 446m | South |
| 19641 | 92 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 446m | South East |
| 19653 | 63 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 447m | South |
| 8291 | 48 Kensington Road ROSE PARK | Local | House | House | 11/03/2005 | 448m | South West |
| 8303 | 7 Prescott Terrace ROSE PARK | Local | House | House | 11/03/2005 | 448m | South |
| 18958 | 53 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 449m | South |
| 5766 | 92 George Street NORWOOD | Local | House | Early Cottage & Villa Addition | 24/08/2000 | 451m | East |
| 19654 | 65 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 451m | South East |
| 18957 | 51 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 452m | South |
| 8290 | 46 Kensington Road ROSE PARK | Local | Business House - Offices | Offices - former House | 11/03/2005 | 456m | South West |
| 19655 | 67 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 456m | South East |
| 19642 | 94 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 457m | South East |
| 5846 | 50 Osmond Terrace NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 460m | North |
| 19656 | 69 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 461m | South East |
| 5668 | 13 Cleve Street NORWOOD | Local | House | Mid-Victorian Bluestone Cottage | 24/08/2000 | 462m | South West |
| 18956 | 49 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 462m | South |

| Heritage No | Location | Heritage Class | Australian Class | Details | Auth Date | Distance | Direction |
|-------------|------------------------------------|----------------|-----------------------------|--|------------|----------|------------|
| 5980 | 23 William Street NORWOOD | Local | House | Victorian Stone Dwelling | 24/08/2000 | 464m | West |
| 19640 | 96 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 468m | South East |
| 18955 | 47 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 469m | South |
| 19657 | 73 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 474m | South East |
| 18954 | 45 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 475m | South |
| 5845 | 48 Osmond Terrace NORWOOD | Local | House | Victorian Bluestone Villa | 24/08/2000 | 476m | North |
| 5800 | 123 Kensington Road NORWOOD | Local | House | Federation Mansion ('Fit for a Gentleman') | 24/08/2000 | 480m | South East |
| 18953 | 43 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 480m | South |
| 19658 | 75 Hewitt Avenue TOORAK GARDENS | Contributory | House | | 25/01/2007 | 480m | South East |
| 19644 | 98 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 481m | South East |
| 5914 | 67 Sydenham Road NORWOOD | Local | House | Victorian Dwelling | 24/08/2000 | 486m | North West |
| 6138 | 69 Sydenham Road NORWOOD | Local | Business: Commercial/Retail | Victorian Corner Shop | 24/08/2000 | 486m | North West |
| 6025 | 175 The Parade NORWOOD | State | Hall | Norwood Town Hall | | 487m | North East |
| 18952 | 43 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 487m | South West |
| 19645 | 100 Kensington Road TOORAK GARDENS | Contributory | House | | 25/01/2007 | 493m | South East |
| 5662 | 38 Charles Street NORWOOD | Local | Business: Commercial/Retail | Victorian Corner Shop with Parapet Wall | 24/08/2000 | 494m | West |
| 18951 | 41 Hewitt Avenue ROSE PARK | Contributory | House | | 25/01/2007 | 494m | South West |
| 5769 | 108-110 George Street NORWOOD | Local | Bridge | Bridge Parapet | 20/09/2001 | 498m | South East |

Heritage Places Data Source: Dept of Environment, Water and Natural Resources - South Australia
Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

Aboriginal Land

Aboriginal Land within the dataset buffer:

| Map Id | Grant Date | Address | Locality | Description | Title | Distance | Direction |
|--------|----------------------|---------|----------|-------------|-------|----------|-----------|
| N/A | No records in buffer | | | | | | |

Aboriginal Land Data Source: Department of State Development, Resources and Energy - South Australia

Subject Land Map



Government
of South Australia
Land Services Group

Zoning and Locality Map



Government
of South Australia
Land Services Group



Marks the address of a representor. Ms Fitzgerald is not shown as she provided a postal address which is not on the scope of the map

Application Summary

| | |
|----------------|--|
| Application ID | 24019620 |
| Proposal | Change of use from offices to three (3) detached dwellings, with associated partial demolition of a Local Heritage Place, building alterations and additions, internal building works, carports and garaging, fencing, and the removal of one (1) Significant Tree |
| Location | 16 GLOUCESTER TCE NORWOOD SA 5067, 18 GLOUCESTER TCE NORWOOD SA 5067, 81 OSMOND TCE NORWOOD SA 5067 |

Representations

Representor 1 - Eva Spitzer

| | |
|--|---|
| Name | Eva Spitzer |
| Address | 17 Gloucester Terrace NORWOOD SA, 5067 Australia |
| Submission Date | 12/08/2024 11:03 AM |
| Submission Source | Online |
| Late Submission | No |
| Would you like to talk to your representation at the decision-making hearing for this development? | No |
| My position is | I support the development with some concerns |
| Reasons My concern is around tradespeople parking all day in Gloucester Terrace during this development. As it is heavily over parked due to other nearby developments already, I am concerned that emergency vehicles will be unable to pass at times as Gloucester Terrace is extremely narrow. ? Change of parking limits during development of this site. ?one side of the street parking only during this development | |

Attached Documents

Representor 2 - James Bennett

| | |
|---|---|
| Name | James Bennett |
| Address | 75 William Street NORWOOD SA, 5067 Australia |
| Submission Date | 15/08/2024 02:46 PM |
| Submission Source | Online |
| Late Submission | No |
| Would you like to talk to your representation at the decision-making hearing for this development? | No |
| My position is | I support the development |
| Reasons The area is generally residential. This development will add to the character of the area whilst retaining historic elements. The amendments to the property are minimal. The Palm Tree won't be a significant loss. Consequently, the development appears sound. | |

Attached Documents

Representor 3 - Lilly Fitzgerald

| | |
|--|---|
| Name | Lilly Fitzgerald |
| Address | PO Box 605 MAGILL SA, 5072 Australia |
| Submission Date | 23/08/2024 04:27 PM |
| Submission Source | Online |
| Late Submission | No |
| Would you like to talk to your representation at the decision-making hearing for this development? | No |
| My position is | I oppose the development |

Reasons

I object to the removal of the significant tree which will alter the nature of the property. It is important to keep the property in its original form as much as is possible to maintain the heritage the history of the property. I object to the demolition of the significant tree for the same reason as above. To squash 3 detached dwellings into this area will place pressure on existing infrastructure of the area; it will change the historical perspective of the property, particularly by the partial or otherwise, demolition of a local heritage place which ought not to be allowed. It will also add to local transport issues, increased noise of an otherwise serene property. Preserving historical buildings in their original form is of utmost importance to the overall nature of this environment. To squeeze 3 detached dwellings into such a confined space indicates disrespect of historical heritage significance of the property - it indeed, personifies avarice at its worst.

Attached Documents

30 August 2024

Edmund Feary
City of Norwood, Payneham and St Peters
175 The Parade
Norwood SA 5067

Our Ref: 53993LET01

Dear Mr. Feary

Response to Representations - Development Application 24019620 81 Osmond Terrace, Norwood

MasterPlan acts on behalf of Booth Real Estate ('the applicant') and have been instructed to review and respond to the representations received during the public notification period for Development Application 24019620 at 81 Osmond Terrace, Norwood.

A total of three representations were received, of which one representor was supportive, one was supportive with concerns, and one was in opposition.

We note that none of the representors expressed their desire to be heard at the City of Norwood, Payneham and St Peters Council Assessment Panel meeting.

The representor who expressed support for the proposed development acknowledged that:

- The area is generally residential.
- This development will add to the character of the area whilst retaining historic elements.
- The amendments to the property are minimal.
- The Palm Tree won't be a significant loss.

We provide our response **below** to the specific concerns raised within the representations received.

Impact on on-street car parking associated with use by Trades Persons.

The proposed development accords with the relevant car parking, access and vehicle movement provisions of the Planning and Design Code.

The use of the public road associated with the construction of the proposed development is not a matter that is directly relevant to the planning assessment of this proposal.

Gloucester Terrace is a local road under the care and control of the Council. While it may be inevitable that there could be an increase in on-street parking associated with trades persons during construction, on-street car parking is to be legitimately controlled by Council in accordance with any parking restrictions that may apply.



Increase in traffic and increased noise.

The subject property has existing use rights as a commercial property to be used as offices. The extent of commercial traffic and activity is greater than what would generally be generated by residential development.

It should also be noted that the land has an existing approval and has already been divided into four separate land parcels expressly for the purpose of accommodating residential development in accordance with the intent of the Established Neighbourhood Zone. The application currently before Council only seeks to establish the built form in accordance with the existing pattern of allotments as envisaged in a Land Management Agreement that exists over the land.

The dwellings are to be accommodated on allotments that are of a suitable size and dimension in accordance with DTS/DPF 2.1 of the Zone, and they are provided with appropriate vehicle access and sufficient on-site car parking in accordance with DTS/DPF 5.1 of Transport Access and Parking.

For these reasons, the expected use of the local roads and level of noise associated with the future occupation of dwellings on the land is considered acceptable and reasonable for the locality.

Intensity of Development (3 detached dwellings) will place pressure on existing infrastructure of the area.

We refer to the response above and reiterate that this application does not seek to create additional allotments. The allotments were originally created for residential purposes and the assessment of the land division application would have considered the appropriateness of the infrastructure to accommodate residential development.

Removal of the significant tree will alter the nature of the property.

Council in their consideration of the previous division of land identified the stables and library as being items on the land that had historical merit for retention and included the protection of these items in an endorsed Land Management Agreement. The Land Management Agreement did not seek to protect the Palm tree as an element that contributes to the historic value of the property.

It is our view that the Significant Tree does not significantly contribute to the visual or environmental amenity of the locality, and its removal would not detrimentally impact on the Heritage fabric of the land, noting that the tree is located behind the library building which is not a Local Heritage Place in its own right.

The removal of the Significant Tree is therefore considered reasonable to accommodate the re-development of the Library building into a dwelling, which in our view will positively contribute to preserving the history of the land for residential purposes.



Demolition of a local heritage place should not be allowed. Preserving historical buildings in their original form is of utmost importance to the overall nature of this environment.

The proposal does not seek to demolish any historical fabric associated with the Local Heritage Place and it also seeks to preserve the Library and Stables buildings in line with the Land Management Agreement, which as noted above, identifies the Library and Stables as being of historical importance and warranting retention.

The allotments of an appropriate size and dimension to accommodate detached dwellings, which is an appropriate use of the land that is envisaged in the Zone. The design, scale and siting of the new built form is considered appropriate and will not unduly detract from the value of the Local Heritage Place or the presentation to Osmond Terrace.

Indeed, the nature of the proposed development expressly seeks to go over and above the protection of the identified fabric under the Planning and Design Code and the owners have worked closely with Council and agreed to maintain the fabric of the non-listed items, where the architects have carefully designed alterations and additions to enhance and preserve these buildings.

Closing

Having regard of the existing disposition of the site and locality, the proposed development and relevant provisions of the Planning and Design Code, the proposal is considered to be an appropriate development of the subject site that warrants Planning Consent being granted.

Please confirm the date and time that the application will be considered to enable our client or representative to attend and make a verbal submission.

Yours sincerely

Valeria Forbes
MasterPlan SA Pty Ltd

HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **81 Osmond Terrace Norwood**
 APPLICATION NUMBER: **24019620**
 DATE: 2 September 2024
 PROPOSAL: Change of use, minor additions and alterations
 HERITAGE STATUS: LOCAL HERITAGE PLACE
 HERITAGE ADVISOR: David Brown, BB Architects
 PLANNER: Edmund Feary



City of
Norwood
Payneham
& St Peters

ADVICE SOUGHT

No pre Planning Consent advice has been sought from Council's Heritage Advisor by the applicant. This is the second report I have prepared on this application.

DESCRIPTION

The main two storey building on the corner is a Local Heritage Place in the Established Neighbourhood Zone.

PROPOSAL

The proposal is to formalise the change of use from Commercial to Residential before the sale of the properties in line with the LMA. The proposal includes minor demolition of non-significant elements (mostly non original), covered car parking, and minor additions to the buildings. It is relatively clear that these proposed works are designed for the sole purpose of enabling the LMA to be revised or terminated, and are not intended to be constructed, as they appear to not be well resolved, well designed or well detailed.

COMMENTS

Below I have outlined some concerns with the drawings as they stand.

LMA Requirements.

Fencing. The LMA states that suitable historically acceptable front and dividing fence designs needed to be provided as a part of the change of use for sale. There is no information on the new front fence design for the main house. The plan drawing DA03 still shows the front fence to both Osmond Terrace properties as the existing brush fence, though the other drawings note the already approved fence to the library building. If the LMA partly stays in place, then the fencing design could form part of the future renovations of the property.

FORMER LIBRARY

While not a Local Heritage Place, the interior of the former Library is of high significance and should be protected and enhanced with what ever design is proposed. The current proposal does not take advantage of this elegant and well-crafted open interior of the building for adaptive reuse. I understand the proposed design is unlikely to be constructed as I have spoken with several prospective purchasers and their desire is to leave the interior open with minimal change to the space apart from potentially a kitchen, and small mezzanine.

FORMER STABLES

There is minimal new work noted to the existing building apart from a window in the north facing opening at the upper level. The information regarding this window has now been clarified and is an acceptable outcome. There is a note on the elevation drawing "FG", generally meaning the bottom sash would be fixed glass. However, the legend for the drawings notes this as anodised aluminium, which is not an acceptable outcome. I believe the text describing the window detail would supersede this notation.

MAIN HOUSE

There are no external works proposed to the existing house, despite the fact that it is in a poor state of repair. The internal demolition is to less significant areas at the rear of the building, so not of any real concern.

The proposed rear carports still have minimal detail, with just a colour noted for the structure and galvanised roofs. This is probably an acceptable outcome given any purchaser is likely to construct something more substantial.

CONCLUSION

Overall the proposal is an acceptable outcome, as it will allow the properties to be sold and renovated. There is some minor concern with the brush fence remaining forward of the Local Heritage Place, but potentially this can be handled in the future with an application to renovate and restore the property.

Orig. AG 11858756



11:52 3-Dec-2012

1 of 1

Fees: \$144.00

Prefix

AG

Series No.

FORM APPROVED BY THE REGISTRAR-GENERAL

**BELOW THIS LINE FOR OFFICE &
STAMP DUTY PURPOSES ONLY****BELOW THIS LINE FOR AGENT USE ONLY**CERTIFIED CORRECT FOR THE PURPOSES
OF THE REAL PROPERTY ACT 1886Registered Conveyancer
Brian O'HalloranAGENT CODE

Lodged by: BRIAN O'HALLORAN BTH1

Correction to: BRIAN O'HALLORAN BTH1

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH
INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

1. C/T 6082/264, 265 & 266

2.

3.

4.

PLEASE ISSUE NEW CERTIFICATE(S) OF TITLE AS FOLLOWS

1.

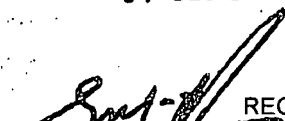
2.

3.

4.

DELIVERY INSTRUCTIONS (Agent to complete)PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE
UNDERMENTIONED AGENT(S)

| ITEM(S) | AGENT CODE |
|-------------------------|------------|
| 2 COPIES OF AG | BTH1 |
| C/T 6082/264, 265 & 266 | NAB 58 |
| | |
| | |

| | |
|--|-------------|
| CORRECTION | PASSED |
| REGISTERED | 07 DEC 2012 |
|  | |
| REGISTRAR-GENERAL Pro | |

TO THE REGISTRAR-GENERAL

1. **THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST PETERS (Council)** of 175 The Parade Norwood SA 5067 has entered into the attached Land Management Agreement dated the 11th day of September 2012 (**Agreement**) with **81 Osmond Terrace Pty Ltd** of 206 Magill Road Norwood SA 5067 pursuant to s57A (1) of the Development Act 1993 (**Act**).
2. The Agreement relates to the whole of the land comprised in Certificates of Title Volume 6082 Folios 264, 265 and 266 (formerly the whole of the land comprised in Certificate of Title Volume 6002 Folio 111) (**Land**)
3. The Council applies pursuant to s-57A (14) of the Act to note the Agreement against the Land

Date: the 30th day of NOVEMBER 2012

The Common Seal of **THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST PETERS** was affixed in the presence of:



Signature of Mayor



Signature of Chief Executive Officer

ROBERT BRIA

Name of Mayor (Print)

MARIO BARONE

Name of Chief Executive Officer (Print)

Attachment 8

Dated *11th* day of *September* 2012

Between

**THE CORPORATION OF THE CITY OF NORWOOD
PAYNEHAM AND ST PETERS**

and

81 OSMOND TERRACE PTY LTD

LAND MANAGEMENT AGREEMENT BY DEED

**BOTTEN LEVINSON
PO Box 6777, Halifax Street
ADELAIDE SA 5000**

**Phone: 08 8212 9777
Fax: 08 8212 8099**

Attachment 8

This Deed is made the 11th day of September 2012

DATE

BETWEEN

THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
of 175 The Parade, Norwood SA 5067 ("**the Council**")

and

81 OSMOND TERRACE PTY LTD of 206 Magill Road, Norwood SA 5067
("**the Owner**")

BACKGROUND

- A. The Owner is the proprietor of an estate in fee simple in the Land. The Land is within the area of the Council.
- B. The Land is currently comprised in three allotments and is improved with buildings, car parking, landscaping and ancillary structures as depicted on the aerial image in **Schedule 1** of this Deed.
- C. By Development Application numbered 8/D009/11 ("**the Development Application**") the Owner has sought Development Plan consent, Land Division consent and Development Approval pursuant to the Act from the Council, to develop the Land by undertaking the division of the Land in accordance with the Plan in **Schedule 2** of this Deed ("**the Land Division Plan**").
- D. A two storey Victorian sandstone mansion ("**the Mansion**") currently exists on the north eastern portion of the Land. An extension of the Mansion has been constructed more recently than the original building on its rear or western side as depicted on Schedule 1 ("**the Later Extension**"). The Mansion is listed as a Local Heritage Place. The Council acknowledges that the Later Extension does not contribute to the heritage value of the Mansion and does not form part of the Local Heritage Place.
- E. A former library building ("**the Library**") currently exists on the south eastern portion of the Land as depicted in Schedule 1, and is connected to the Mansion by a more recently constructed annex ("**the Annex**"). Neither the Library nor the Annex are listed as Local Heritage Places.
- F. A former stables building ("**the Stables**") exists on the north western portion of the Land as depicted in Schedule 1. The Stables is not listed as a Local Heritage Place. A free standing brick toilet building exists south of the Stables as depicted in Schedule 1 ("**the Brick Toilet**"). An addition to the Stables described as "GI Annex" is located to the south west of the Stables ("**GI Annex**").
- G. The Council considers that the Library and the Stables both exhibit attributes of heritage character that warrant their retention and adaptive reuse, notwithstanding that they are not Local Heritage Places, or subject to any other

Attachment 8

protection on the basis of their character, and the Owner is prepared to retain those buildings.

- H. The Council acknowledges that the Annex connecting the Mansion to the Library, the GI Annex connected to the Stables and the Brick Toilet do not contribute to the heritage value of the Mansion and do not form part of the Local Heritage Place.
- I. The Council further acknowledges that in the event that the Owner was to submit applications under the Act to demolish the Later Extension, the Annex, the Brick Toilet or the GI Annex connected to the Stables then such applications would be assessed on their respective merits.
- J. The Owner acknowledges that any proposal for demolition of the Annex would need to include a detailed proposal to make good the façade of both the Mansion and the Library that would be exposed by such demolition.
- K. The Land is located in the Norwood Policy Area of the Residential Zone of the Norwood Payneham and St Peters Development Plan as at the date of the Development Application and as at the date of this Agreement.
- L. The Council acknowledges that the Land is currently lawfully used for commercial purposes in the form of offices.
- M. The Council wishes to ensure that the Library and the Stables are retained and, together with the Mansion, adaptively reused as dwellings if such opportunity reasonably arises in the future.
- N. The Council also wishes to protect the views to the Mansion and the Library from Osmond Terrace and ensure that any fencing erected and landscaping established between those buildings and Osmond Terrace are sensitive to the character values of the buildings.
- O. The Owner and the Council are willing to enter into this Deed pursuant to section 57A of the Act relating to the management preservation and conservation of the Land.

AGREED TERMS

DEFINITIONS AND INTERPRETATION

1. Definitions

In this Deed:

Act means the *Development Act 1993* (SA).

"the Annex" means the existing building located on the Land which connects the Library to the Mansion and is depicted in Schedule 1.

"the GI Annex connected to the Stables" means the addition constructed more recently to the south west side of the Stables as depicted on Schedule 1.

Attachment 8

“the Brick Toilet” means the free standing brick toilet building located to the south of the Stables on the Land as depicted in Schedule 1.

“the Later Extension” means the extension of the Mansion which has been constructed more recently than the Mansion that is located to the rear or on the western side of the Mansion as depicted in Schedule 1.

“the Library” means the existing building located on the Land formerly used as a library that is located on the south eastern portion of the Land as depicted in Schedule 1.

“the Mansion” means the two storey Victorian sandstone mansion which is located on the north eastern portion of the Land and is depicted in Schedule 1.

“the Stables” means the building formerly used as a stables located on the north western portion of the Land as depicted in Schedule 1.

“Business Day” means a day that is not a Saturday, Sunday or public holiday in South Australia.

“the Land” means the whole of the land comprised in Certificate of Title Register Book Volume 6002 Folio 111 and any part or parts of it.

“the Land Division Plan” means the plan of division depicted in Schedule 2.

“Relevant Authority” has the meaning given to those words under the Act.

2. Interpretation

In this deed, unless the context otherwise requires:

- 2.1 headings do not affect interpretation;
- 2.2 singular includes plural and plural includes singular;
- 2.3 words of one gender include any gender;
- 2.4 a reference to a party includes its executors, administrators, successors and permitted assigns;
- 2.5 a reference to the Owner includes each person registered or entitled to be registered as a proprietor of an estate in fee simple of the Land;
- 2.6 a reference to a person includes a partnership, corporation, association, government body and any other entity;
- 2.7 an agreement, representation, warranty or indemnity by two or more parties (including where two or more persons are included in the same defined term) binds them jointly and severally;
- 2.8 an agreement, representation, warranty or indemnity in favour of two or more parties (including where two or more persons are included in the same defined term) is for the benefit of them jointly and severally;

Attachment 8

- 2.9 a reference to legislation includes any amendment to it, any legislation substituted for it, and any subordinate legislation made under it;
- 2.10 a provision is not construed against a party only because that party drafted it;
- 2.11 the meaning of general words is not limited by specific examples introduced by 'including', 'for example' or similar expressions;
- 2.12 an expression defined in the Act has the meaning given by the Act at the date of this Deed.

3. Background

The Background forms part of this Deed and is correct.

4. Legislation

The requirements of this Deed are to be construed as additional to the requirements of the Act and any other legislation affecting the Land.

OWNER'S COVENANTS

5. Demolition of Buildings

Subject to clause 14 of this Deed, the Owner covenants:

- 5.1 to retain the Mansion, the Library and the Stables on the Land;
- 5.2 not to demolish or seek to demolish or permit the demolition of the Mansion, the Library or the Stables on the Land; and
- 5.3 that if the Owner seeks to demolish the Annex, the Owner will submit as part of such a development application detailed proposals to the Council to make good and ameliorate the resultant visual appearance of the southern façade of the Mansion and the northern façade of the Library that would be exposed by such demolition.

6. Fencing and Landscaping

Subject to clause 14 of this Deed, the Owner covenants:

- 6.1 not to erect any fencing on that portion of the Land between the eastern facades of the Mansion and the Library and the Osmond Terrace frontage of the Land except fencing on the boundary of the Land and Osmond Terrace which said fencing shall at all times be in accordance with clause 6.2 herein;
- 6.2 that if the Owner erects fencing on the boundary of the Land and Osmond Terrace then such fencing shall be a traditional or contemporary interpretation of a traditional masonry pillar and plinth wall with cast, wrought or welded metal infill panels and any final design shall be compatible with the character of the Mansion and the Library and shall be to the Council's reasonable satisfaction expressed in writing;

Attachment 8

6.3 that any fencing that is erected on the boundary of the Land and Gloucester Terrace shall incorporate:

6.3.1 a side fence return extending along the Gloucester Terrace boundary from the north eastern corner of the Land for a distance which equals the distance from the Osmond Terrace boundary of the Land to the eastern facade of the Mansion, which side fence return shall be a traditional or contemporary interpretation of a traditional masonry pillar and plinth wall with cast, wrought or welded metal infill panels; and

6.3.2 other than the side fence return described in clause 6.3.1 herein, side fencing that:

6.3.2.1 complements the style of the said side fence return; or

6.3.2.2 is solid masonry; or

6.3.2.3 is traditional corrugated metal sheeting in a colour that is either natural galvanised or dark colorbond;

6.4 Subject to compliance at all times with clause 6.2 and 6.3 herein any other fencing that is erected on the Land shall be:

6.4.1 traditional profile corrugated metal sheeting, either post and rail or double sided "good neighbour" type fencing and shall be of a colour that is either natural galvanised or dark colorbond; or

6.4.2 a masonry or rendered masonry fence;

6.5 that if the Owner establishes landscaping on that portion of the Land between the eastern facades of the Mansion and the Library and the Osmond Terrace frontage of the Land that is new or different from the landscaping that exists at the date of this Deed then such landscaping shall be designed to be similar to landscaping typical of the era of the construction of the Mansion to the reasonable satisfaction of the Council;

6.6 to plant a one (1.0) metre wide landscaping strip in the form of screening trees/shrubs along the south western corner of proposed allotment 101 as depicted in the Land Division Plan, which said planting shall be planted at a height of at least 1.5 metres, spaced at 1.5 metre centres, and thereafter maintained at all times to the reasonable satisfaction of the Council.

7. Conversion to Residential Use

7.1 Subject to clause 14 of this Deed, the Owner covenants to not change the use of any portion of the Land to a residential land use pursuant to an application submitted under the Act unless the Owner concurrently seeks to change the use of the whole of each of the four (4) allotments proposed in the Land Division Plan to a residential land use; and

Attachment 8

- 7.2 enter into a contract of sale for any of the four (4) allotments proposed in the Land Division Plan, until such time as the use of the whole of the Land has been lawfully changed to a residential land use by way of an application that has been approved and implemented under the Act unless that contract of sale is for the transfer of the whole of the four allotments proposed in the Land Division Plan to a single purchaser.

RESTRICTION ON LEASING AND OTHER DEALINGS

8. The Owner must not grant any lease licence easement or other right which may give any person the right to possession or control of or entry on to the Land which right would enable such person to breach any of the obligations imposed on the Owner by this Deed unless such grant:
- 8.1 is expressed in writing;
 - 8.2 is made with the previous written consent of the Council which will not be unreasonably withheld; and
 - 8.3 contains as an essential term a covenant by the grantee not to do or omit to do (or suffer or permit any other person to do or omit to do) any act matter or thing which would constitute a breach by the Owner of the Owner's obligations under this Deed.

COUNCIL'S POWERS OF ENTRY

9. The Council and any employee or agent of the Council authorised by the Council may at any reasonable time enter the Land for the purpose of:
- 9.1 inspecting the Land and any building or structure on the Land;
 - 9.2 exercising any other powers of the Council under this Deed or pursuant to law.
10. If the Owner is in breach of any provision of this Deed, the Council may, by notice served on the Owner, specify the nature of the breach and require the Owner to remedy the breach within such time as may be nominated by the Council in the notice (being at least 28 days from the date of service of the notice). If the Owner fails so to remedy the breach, the Council or its servants or agents may carry out the requirements of the notice and in doing so may enter and perform any necessary works upon the Land and recover any costs thereby incurred from the Owner.
11. If in a notice referred to in clause 10 the Council requires the removal of a building or structure from the Land, the Council and its servants or agents are authorised and empowered by the Owner to enter and remove the building or structure from the Land and to dispose of it in any manner determined by the Council provided that if the building or structure has any monetary value then the Council must use its best endeavours to realise that monetary value and must after the disposal account to the Owner and pay to the Owner the realised value less all expenses incurred.
12. The Council may delegate any of its powers under this Deed to any person.

Attachment 8

NOTING OF THIS AGREEMENT

13. Each party must do and execute all acts documents and things necessary to ensure that as soon as possible after the execution of this Deed by all necessary parties this Agreement is noted by the Registrar-General on the Certificate of Title for the Land pursuant to section 57A(14) of the Act.

OPERATION OF THIS AGREEMENT

14. The parties to this Deed expressly declare and agree that the provisions of this Deed shall not be binding nor impose any obligation upon them unless and until all of the consents necessary for the approval of the Development Application 8/D009/11 (including a notice of approval pursuant to Regulation 46(1) of the *Development Regulations, 1993*) have been obtained under the Act and are operative within the meaning ascribed to the phrase "the operative date" by Regulation 48(4) of the Regulations made under the Act.

SUNSET CLAUSE

15. In the event that:
 - 15.1 the Library and the Stables are both listed as Local Heritage Places under the Act, and all avenues of legal challenge against the said listing have been exhausted; and
 - 15.2 the whole of the Land has been lawfully changed to a residential land use;

THEN the Council agrees to rescind this Deed at the request of the Owner and the reasonable costs of and incidental to the preparation, stamping and noting of the Deed of Rescission on the relevant Certificate of Title will be borne by the Owner.

RESCISSION

16. In the event that:
 - 16.1 any development authorisation sought by the Development Application is not granted, or if granted, lapses or expires by virtue of the provisions of the Act without being implemented by the Owner; or
 - 16.2 the Registrar-General does not deposit the plan for the proposed division in the Land Titles Registration Office;

THEN the Council agrees to rescind this Deed at the request of the Owner and the reasonable costs of and incidental to the preparation, stamping and noting of the Deed of Rescission on the relevant Certificate of Title will be borne by the Owner.

CONSENTS

17. The Owner warrants that no person (other than itself) has a legal interest in the Land or any part thereof, except the persons whose consents to this Deed are in Schedule 3.

Attachment 8

GENERAL PROVISIONS

18. Alteration

This Deed may be altered only by a supplementary Deed signed by each party.

19. Entire agreement

This Deed:

19.1 constitutes the entire agreement between the parties about its subject matter; and

19.2 supersedes any prior understanding, agreement, condition, warranty, indemnity or representation about its subject matter.

20. Waiver

The Council may waive compliance by the Owner with the whole or any part of the obligations on the Owner's part under this Deed provided that no such waiver shall be effective unless expressed in writing and signed by the Council.

21. Exercise of power

21.1 The failure, delay, relaxation or indulgence by a party in exercising a power or right under this Deed is not a waiver of that power or right.

21.2 An exercise of a power or right under this Deed does not preclude a further exercise of it or the exercise of another right or power.

22. Survival

Each indemnity, obligation of confidence and other term capable of taking effect after the expiration or termination of this Deed, remains in force after the expiration or termination of this Deed.

23. Governing law

23.1 This Deed is governed by the law of South Australia.

23.2 The parties irrevocably submit to the non-exclusive jurisdiction of the courts of South Australia.

NOTICES

24. A notice, demand, consent, approval or communication under this Deed (Notice) must be:

24.1 in writing, in English and signed by a person authorised by the sender; and

24.2 hand delivered or sent by pre paid post or facsimile to the recipient's address or facsimile number specified below, as varied by any Notice

Attachment 8

given by the recipient to the sender, or affixed in a prominent position on the Land.

25. At the date of this Deed, the addresses and facsimile numbers for Notices are:

THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

Address: 175 The Parade, NORWOOD SA 5067
Facsimile no: 08 8332 6338
Attention: Chief Executive Officer

81 OSMOND TERRACE PTY LTD

Address: 206 Magill Road, NORWOOD SA 5067
Facsimile no: 08 8331 1900
Attention: Mr Dennis Sims

26. A Notice is deemed to be received:

- 26.1 if hand delivered or affixed in a prominent position on the Land, on delivery or affixing;
- 26.2 if sent by prepaid mail, two Business Days after posting (or seven Business Days after posting if posting to or from a place outside Australia);
- 26.3 if sent by facsimile, at the time and on the day shown in the sender's transmission report, if it shows that the entire Notice was sent to the recipient's facsimile number last Notified by the recipient to the sender,

Provided however that if the Notice is deemed to be received on a day that is not a Business Day or after 5:00pm, the Notice is deemed to be received at 9:00am on the next Business Day.

27. If two or more people comprise a party, Notice to one is effective Notice to all.

COSTS

28. The Owner must pay to the Council on demand the Council's reasonable costs and expenses (including legal costs and expenses) of preparing, stamping and noting this Deed.

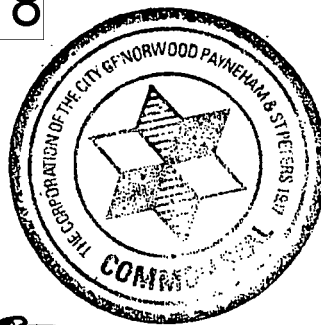
SEVERANCE

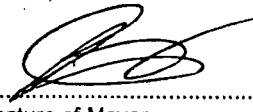
29. If any term or condition of this Deed should for any reason be invalid or unenforceable then that term or condition shall be severed from this Deed without affecting the validity or enforceability of the remainder of the Deed.

EXECUTED as a Deed

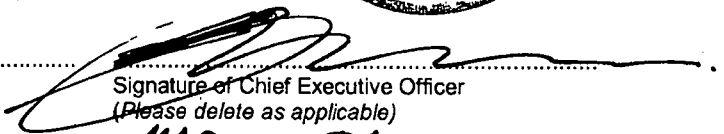
Attachment 8

The common seal of THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST PETERS was affixed in the presence of:

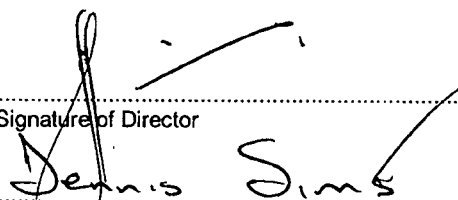




Signature of Mayor

ROBERT BRIND
Name of Mayor (print)


Signature of Chief Executive Officer
(Please delete as applicable)
MARIO BARONE
Name of Chief Executive Officer (print)

Executed by 81 OSMOND TERRACE
PTY LTD pursuant to section 127 of the
Corporations Act 2001 (Commonwealth)


Signature of Director
Dennis Sims
Name of Director (print)
or


Signature of Director/Company Secretary
(Please delete as applicable)
BERNARD HARDING BOOTH
Name of Director/Company Secretary (print)

Signature of Sole Director and Sole Company Secretary

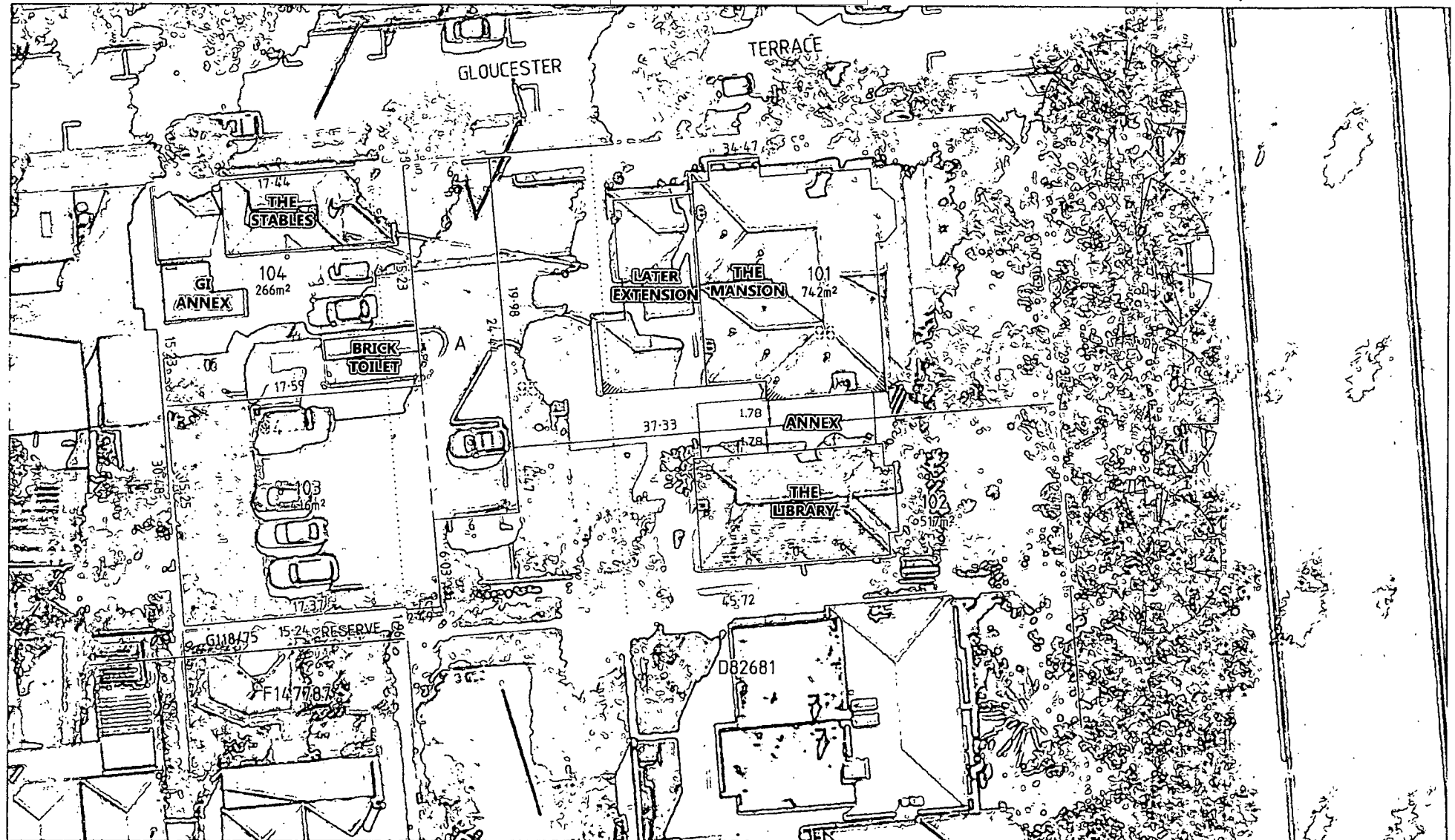
Name of Sole Director and Sole Company Secretary (print)

Attachment 8



SCHEDULE 1 AERIAL IMAGE

Attachment 8



Subject Site (1942m²)

Schedule 1



1:250 @ A3
0 5m

33 Carrington Street
Adelaide SA 5000
Tel: 08 8221 6000
Fax: 08 8221 6001

masterplan.com.au

plan@masterplan.com.au
© MAY 2012 DS:13191_1.0





Attachment 8

SCHEDULE 2 PLAN OF DIVISION

Attachment 8

| | | | | | |
|------------|-----------|-----------------|---|------------------|--|
| PURPOSE: | DIVISION | AREA NAME: | NORWOOD | APPROVED: | SHEET 1 OF 2 <small>25934_text_01_v01</small> |
| MAP REF: | 6628/42/K | COUNCIL: | THE CORPORATION OF THE CITY OF NORWOOD PAYNEHAM AND ST. PETERS | DEPOSITED/FILED: | |
| LAST PLAN: | | DEVELOPMENT NO: | | | |

| | |
|---|---------------------------------|
| AGENT DETAILS: VESKA & LOHMEYER PTY LTD 3 ALEXANDRINA ROAD MOUNT BARKER SA 5251 PH: 08 8398 3050 FAX: 08 8398 3850 AGENT CODE: LVS1 REFERENCE: 10157 | SURVEYORS CERTIFICATION: |
|---|---------------------------------|

| SUBJECT TITLE DETAILS: | | | | | | | | | | |
|-------------------------------|--------|-------|-------|--------------|--------|------|--------|-------------------------|------|------------------|
| PREFIX | VOLUME | FOLIO | OTHER | PARCEL | NUMBER | PLAN | NUMBER | HUNDRED / IA / DIVISION | TOWN | REFERENCE NUMBER |
| CT | 6002 | 111 | | ALLOTMENT(S) | 94 | F | 100127 | ADELAIDE | | |
| | | | | ALLOTMENT(S) | 95 | F | 100127 | ADELAIDE | | |
| | | | | ALLOTMENT(S) | 96 | F | 100127 | ADELAIDE | | |
| OTHER TITLES AFFECTED: | | | | | | | | | | |

| EASEMENT DETAILS: | | | | | | | |
|--------------------------|---------------|-------|---------------------------------------|------------|---------|--------------|----------|
| STATUS | LAND BURDENED | FORM | CATEGORY | IDENTIFIER | PURPOSE | IN FAVOUR OF | CREATION |
| NEW | 103 | SHORT | FREE AND UNRESTRICTED RIGHT(S) OF WAY | A | | 101.102.104 | |

ANNOTATIONS: SUBJECT TO SURVEY & APPROVAL BY THE LTO

Attachment 8

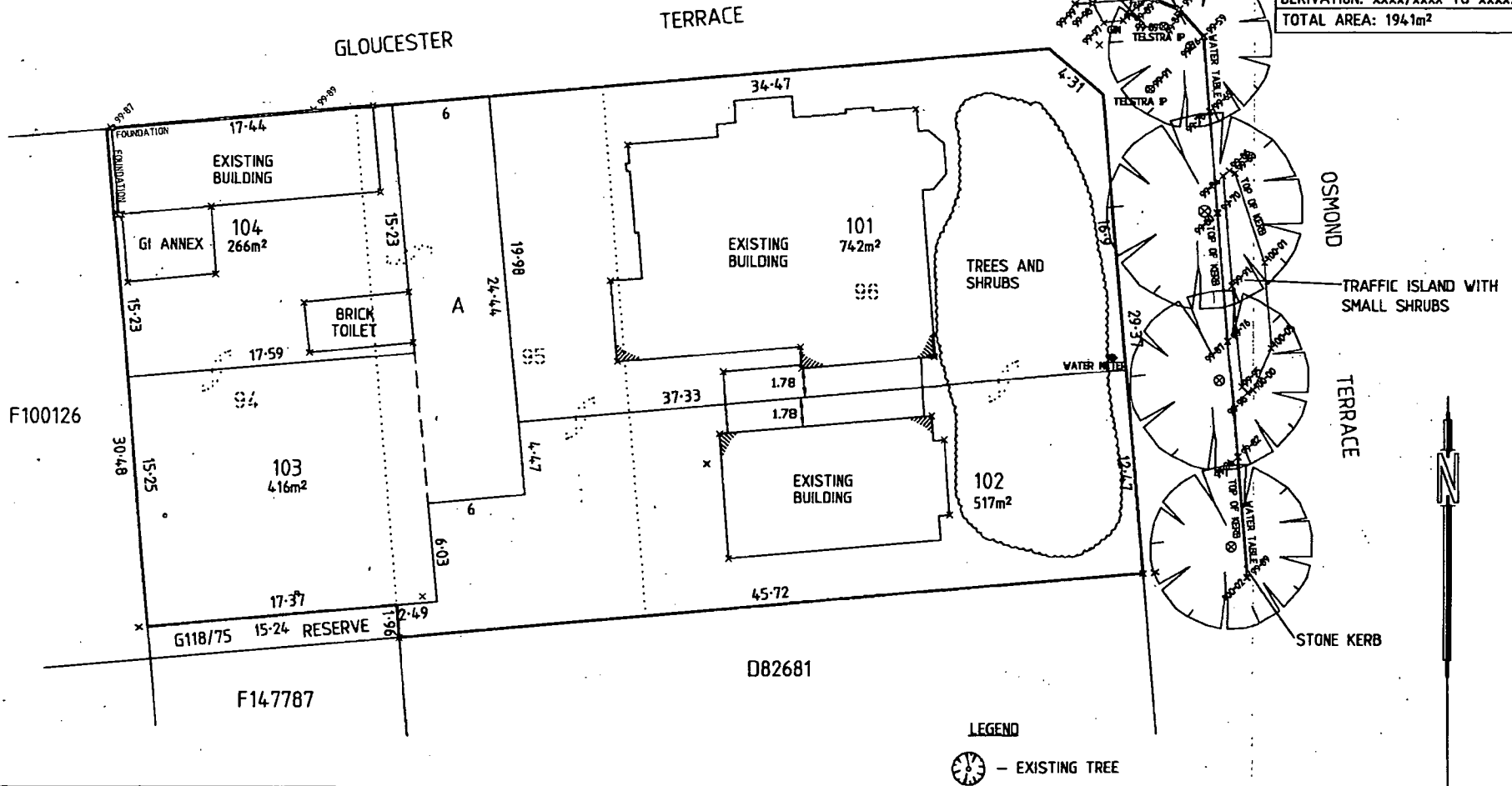
AMENDED PLAN
5/03/2012
NUMBER OF PROPOSED ALOTMENTS NOW 4

ALL DATA IS APPROX. ONLY
SUBJECT TO SURVEY

SHEET 2 OF 2

V01

| |
|--------------------------------------|
| BEARING DATUM: MGA 94 ZONE 54 |
| DERIVATION: xxxx/xxxx TO xxxxx/xxxxx |
| TOTAL AREA: 1941m ² |



VESKA & LOHMEYER PTY. LTD.
SURVEYING CONSULTANTS
 3 ALEXANDRINA ROAD — MOUNT BARKER 5251
 Ph: 8398 3050 Fax: 8398 3850 ABN: 18 007 839 410
 Email: admin@veskalohmeyer.com.au

| | | | | | | |
|--------|-----------|-----|--------|-----------|---------|----|
| DATE | 5/03/2017 | FLD | DC/BC | DRNDC/LDC | REV | 07 |
| REF No | 10157 | CHK | LDC/KH | 10157AP | R07.dwg | |

THIS PLAN HAS BEEN PREPARED FOR A PLANNING APPLICATION AND
UNLESS WRITTEN PERMISSION HAS BEEN GRANTED BY VESKA & LOHMEYER SURVEYORS
IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE ESPECIALLY CONTRACTS

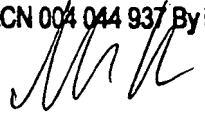
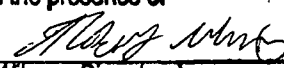
A horizontal scale bar with markings at 0, 5, 10, 15, 20, and 25. The word 'SCALE' is written below the 0 mark, and 'METRES' is written below the 25 mark.

Attachment 8

SCHEDULE 3

Consents of persons having a legal interest in the Land (*Development Act, 1993* section 57A(12))

NATIONAL AUSTRALIA BANK LIMITED as mortgagee pursuant to Mortgage number 10996841 consents to the Owner entering into this Deed.

| | |
|---|----------------|
| NATIONAL AUSTRALIA BANK LIMITED | |
| ACN 004 044 937 By its Attorney | |
|  | Narelle Hunter |
| of 22-28 King William Street, ADELAIDE | |
| Level 3 Attorney | |
| In the State of South Australia | |
| P/A No. 10664492 | |
| In the presence of | |
|  | |
| (Witness Signature) | |
| Robert Lindon Whitley | |
| (Print Full Name) | |
| L10, 22 King William St Adelaide SA | |
| (Print Address) | |
| (Phone No.) | 8407 6848 |

Attachment 8

KOJO PRODUCTIONS PTY LTD as lessee pursuant to Lease numbered 10996842
consents to the Owner entering into this Deed.

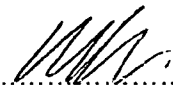
A handwritten signature, possibly 'J', is written inside a triangle. To the right of the triangle, the date '23/8/12' is written.

Attachment 8

KOJO PRODUCTIONS PTY LTD as lessee pursuant to Lease numbered 10996842
consents to the Owner entering into this Deed

EXECUTED by **KOJO PRODUCTIONS PTY LTD** in accordance with Section 127 (1) of
the Corporations Act 2001:


.....
Director


.....
Director/Secretary

6. **DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT**
7. **REVIEW OF ASSESSMENT MANAGER DECISIONS**
8. **ERD COURT APPEALS**
9. **OTHER BUSINESS**
 (Of an urgent nature only)
10. **CONFIDENTIAL REPORTS**
11. **CLOSURE**