

Council Assessment Panel Agenda & Reports

19 January 2026

Our Vision

*A City which values its heritage, cultural diversity,
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable
and socially cohesive, with a strong community spirit.*

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City of
Norwood
Payneham
& St Peters

14 January 2026

To all Members of the Council Assessment Panel:

- Mr Stephen Smith (Presiding Member)
- Mr Julian Rutt
- Cr Christel Mex
- Mr Paul Mickan (Deputy Member)
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Kester Moorhouse (Deputy Member)

NOTICE OF MEETING

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in the Council Chambers, Norwood Town Hall, 175 The Parade, Norwood, on:

Monday 19 January 2026, commencing at 6.30pm.

Please advise Daniella Hadgis on 8366 4508 or email dhadgis@npsp.sa.gov.au if you are unable to attend this meeting or will be late.

Yours faithfully



Geoff Parsons
ASSESSMENT MANAGER

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City of
Norwood
Payneham
& St Peters

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VENUE Council Chambers, Norwood Town Hall

HOUR 6.30PM

PRESENT

Panel Members Mr Stephen Smith
Mr Mark Adcock
Mr Ross Bateup
Mr Julian Rutt
Cr Kester Moorhouse

Staff Geoff Parsons – Manager, Development & Regulatory Services
Kieran Fairbrother – Senior Urban Planner
Ned Feary – Senior Urban Planner
Marie Molinaro – Urban Planner
Daniella Hadgis – Administration Officer

APOLOGIES Cr Christel Mex

ABSENT

1. **COMMENCEMENT AND WELCOME**
2. **APOLOGIES**
3. **CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT PANEL HELD ON 15 DECEMBER 2025**
4. **DECLARATION OF INTERESTS**

5. DEVELOPMENT APPLICATIONS – PDI ACT

**5.1 DEVELOPMENT NUMBER ID 25002154 - PETER PILIOURAS - 33A -33B ANNSTREET
STEPNEY SA 5069**

DEVELOPMENT NO.:	25002154
APPLICANT:	Peter Piliouras
ADDRESS:	33A -33B ANN ST STEPNEY SA 5069
NATURE OF DEVELOPMENT:	Two-storey alterations and additions to existing residential flat building containing two dwellings (Local Heritage Place), including internal demolition, restoration works, and associated timber picket front fence and replacement side fencing
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Historic Area • Hazards (Flooding - General) • Local Heritage Place • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Traffic Generating Development • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 8m; semi-detached dwelling is 8m) • Minimum Site Area (Minimum site area for a detached dwelling is 200 sqm; semi-detached dwelling is 200 sqm; row dwelling is 200 sqm) • Maximum Building Height (Levels) (Maximum building height is 1 level) • Site Coverage (Maximum site coverage is 60 per cent)
LODGEMENT DATE:	28 Mar 2025
RELEVANT AUTHORITY:	Assessment panel at City of Norwood Payneham & St. Peters
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2025.6 27/3/2025
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Kieran Fairbrother, Senior Urban Planner
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	David Brown

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ATTACHMENT 3: Zoning Map

ATTACHMENT 4: Representations Map
ATTACHMENT 5: Representations
ATTACHMENT 6: Response to Representations
ATTACHMENT 7: Internal Referral Advice

DETAILED DESCRIPTION OF PROPOSAL:

The subject building is a Local Heritage Place, described as “an unusual pair of attached dwellings, comprising a single fronted cottage and a symmetrical cottage with separate hipped, corrugated iron roofs, joined across the front by a continuous parapeted wall, and steeply pitched concave verandah.” The LHP listing includes the whole of the exterior of the building and the front fence.

This application is for two-storey alterations and additions to this building, with the second level being recessed towards the rear of the site. Garaging for both dwellings will be obtained via the rear laneway, with both garages being constructed to both side boundaries. Internal demolition works are proposed to improve the layout and liveability of the dwellings. The existing front fence is proposed to be demolished and reconstructed in a like-for-like manner, while restoration works are proposed to the façade of the building to enhance its streetscape appearance.

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 33A -33B ANN ST STEPNEY SA 5069

Title ref.: CT 5294/348	Plan Parcel: F17333 AL364	Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
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Shape:	semi-regular
Frontage Width:	18.48 metres
Area:	approximately 585m ²
Topography:	relatively flat, with a slight increase (700mm) in gradient towards rear
Existing structures:	a single-storey building (Local Heritage Place) comprising two dwellings, and an outbuilding
Existing vegetation:	well-vegetated around the built form elements

Locality

The locality is considered to be comprised of Ann Street extending approximately 60m in both directions and includes some sites to the rear of the subject land on Wells Street. This locality is characterised primarily by single-storey historic dwellings along both Ann Street and Wells Street. The exceptions to this are the two-storey dwellings at 35A and 35B Ann St, which both have the second level concealed within the roof space, and a two-level building at 44 Ann St.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**

Building Alterations: Code Assessed - Performance Assessed

Dwelling addition: Code Assessed - Performance Assessed

Partial demolition of a building or structure: Code Assessed - Performance Assessed

Demolition: Code Assessed - Performance Assessed

Fence: Code Assessed - Performance Assessed

- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code

PUBLIC NOTIFICATION

- **REASON**

Exceeds 1 level TNV for Zone and includes partial demolition of LHP

- **LIST OF REPRESENTATIONS**

Surname	First Name	Address	Position	Wishes to be heard?
Head	Mat		Support, with concerns	Yes
E	Fran		Opposed	No
Grigg	Brendan		Support	No
McGregor	Henry		Opposed	Yes
Manuel	Kate		Support, with concerns	No

- **SUMMARY**

The concerns raised by the representors can be read in full in **Attachment 5**, and can be summarised as follows:

- Concerns regarding the potential for overlooking into neighbouring yards
- Additional traffic in the rear lane
- Two-storey development is at odds with what the zone seeks
- Loss of canopy with the removal of existing trees
- There is too much internal demolition of the LHP proposed

INTERNAL REFERRALS

- David Brown, Heritage Advisor

Council's Heritage Advisor is largely supportive of the proposal, subject to confirmation of how the LHP will be structurally supported following the proposed demolition works.

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Land Use/Density

The existing building is comprised of two dwellings, and this proposal does not seek to change that. However, this proposal does seek to create delineation between those two dwellings, particularly in the rear yard area where communal open space is to be separated into private open space.

From a density perspective, nothing is changing as a result of this proposal. Notwithstanding, it is worth noting that this development will create two dwelling sites that are 304m² and 281m² in size. Designated Performance Feature 2.1 of the Established Neighbourhood Zone suggests that the minimum site area for new dwellings is 200m², which this proposal would satisfy.

Local Heritage Place works (internal demolition and restoration)

Performance Outcome 7.2 of the Local Heritage Place Overlay states:

Local Heritage Places are not demolished, destroyed or removed in total or in part unless:

- (a) The portion of the Local Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value*
- Or*
- (b) The structural integrity or condition of the Local Heritage Place represents an unacceptable risk to public or private safety and is irredeemably beyond repair.*

The Local Heritage Place listing is described in the Planning & Design Code as:

Attached Dwelling: whole of exterior including front fence

This application proposes significant internal demolition, leaving only the central wall between the two dwellings, one wall within the northern dwelling and fireplaces and chimneys in both.

Council's Heritage Advisor has concerns with this demolition, but not with respect to its impact on the heritage values of the place. Rather, the concern lies in how the Local Heritage Place is going to be stabilised with so many internal walls being removed. The heritage listing identifies "the whole of the exterior" and therefore arguably does not extend to the internal walls. Accordingly, the internal demolition is supported by PO 7.2(a), above. How the remaining walls of the Local Heritage Place will be supported is reserved for consideration by way of a Reserved Matter.

Performance Outcome 7.1 of the Local Heritage Place Overlay states:

Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work methods.

This application seeks to undertake significant restoration works to the building and front fence, which are detailed in the Demolition Plan and the East Elevation in **Attachment 1**. The existing building is dilapidated and requires significant work to restore it to a habitable state, and so this extent of work is somewhat anticipated. The precise scope of works, methodologies, and materials and colours to be used has not been specified by the Applicant, and is recommended to be provided by way of a Reserved Matter.

Building Height

Performance Outcome 4.1 of the Established Neighbourhood Zone states:

Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

The corresponding Designated Performance Feature suggests that buildings should be no greater than 1 level in height.

Performance Outcome 1.1 of the Historic Area Overlay states:

All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.

In respect of building heights, the Historic Area Statement says, “single storey”.

Performance Outcome 2.2 of the Historic Area Overlay states:

Development is consistent with the prevailing building and wall heights in the historic area.

This proposal involves a two-storey addition to the existing building, which is at odds with DPF 4.1 of the Zone and not consistent *prima facie* with the existing built form in this historic area (PO 1.1). There is evidence of some two-level development within the locality, including a small two-level building at the rear of 44 Ann Street, and two, two-storey dwellings at 35A and 35B Ann Street where the second levels are confined to the roof space of the dwellings. Approximately 100 metres south – and outside of the chosen locality (and the historic area) – is the more recent “Ottos development” which involves a high density development consisting of approximately sixty, three storey dwellings.

This proposal seeks to construct dwelling additions that are two levels in nature, but appear primarily single level in appearance, by constructing the second level predominantly within the roof space of the addition. The exception to this built form outcome is at the rear of the additions where, to the side neighbours, the additions present more two-storey in form by way of a large window in a gable end that extends to 7 metres above ground level (at the ridge).

From the primary street, the additions do not present as outwardly two-storey, and the sight line diagrams provided by the Applicant (see **Attachment 1**) demonstrate this. The use of skylights rather than dormer windows reduces the visibility of the second building level even from neighbouring allotments. Again, it is only the gable end above the garages that make these additions appear two-storey, and those views are limited only to the two neighbouring dwelling sites at 31A and 35A Ann Street.

Accordingly, despite the proposal involving two-level additions and hence being at odds with DPF 4.1 of the Zone, the visibility of the second level is reduced to such an extent that the development is considered to complement the height of nearby buildings in a manner more consistent with what Performance Outcome 4.1 of the Zone seeks.

With respect to wall heights, Performance Outcome 2.2 of the Historic Area Overlay is again relevant. The existing building has external wall heights of only 2.9m, which is on the lower end of wall heights of historic dwellings in this historic area; which might typically range from 3.0m - 3.4m (depending on the style of building). Accordingly, any addition built to contemporary standards would ordinarily be expected to have taller external walls than the existing building.

To that end, the additions involve external wall heights of 3.6 metres – both for the addition behind the existing building and the boundary garage walls. This is consistent with the wall heights of the adjacent dwelling at 35A Ann Street, as shown in the West Elevation in **Attachment 1**, and is compatible with the wall heights of older buildings in this historic area.

From the primary street, the wall heights of the additions do not adversely affect streetscape character such that any departure from Performance Outcome 2.2 of the Historic Area Overlay justifies refusal (on its own grounds). Any impacts on the adjoining neighbours are discussed in subsequent sections of this report below.

Finally, Performance Outcome 4.2 of the Established Neighbourhood Zone states:

Alterations and additions do not adversely impact on the streetscape character.

The corresponding Designated Performance Feature suggests that one way this might be achieved is by ensuring any “second or subsequent building level addition does not project beyond a 45-degree angle measured from ground level at the building line of the existing building”. The proposed additions do not breach the building envelope provided in DPF 4.2 of the Zone.

With all the above considered, the height of the proposed additions is considered to be sufficiently complementary to the streetscape and compatible with surrounding built form to warrant support.

While the two-storey nature of this development might be supported by the Zone and Historic Area Overlay policies, consideration of the impacts of the two-level addition on the Local Heritage Place is still required.

Design, Appearance and Impact on Local Heritage Place

Performance Outcome 1.2 of the Local Heritage Place Overlay states:

Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.

Performance Outcome 2.1 of the Local Heritage Place Overlay states:

Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.

Performance Outcome 1.3 of the Local Heritage Place Overlay states:

Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.

The Local Heritage Place will remain at the forefront of this development’s presentation to Ann Street. The additions behind will be somewhat visible both to the side of the existing building and above it (at a greater setback though), but not such that they are considered obtrusive or dominant over the LHP, for the reasons expressed below.

The additions immediately behind the LHP employ a hipped roof of the same pitch as the existing building, which helps to reduce the prominence of these taller elements. This is a well-considered design response that effectively supports a second building level by presenting to the street as nothing other than roofing akin to that of the existing building.

The more lateral addition for Dwelling 2, that will have a visible wall facing the primary street, has been designed with parapet wall akin to that across the front of the existing building. This wall is lower in height than the existing parapet on the LHP and will not dominate the LHP at all. Again, this is a well-considered design response by the Applicant. Council’s Heritage Advisor maintains a similar opinion, that the visibility of these additions are “probably an acceptable outcome”.

Due to the site sloping up towards the rear, and the low overall height of the existing building, there are obvious challenges with designing a two-level addition that is not over visibly and dominating in the streetscape. The current proposal sufficiently rises to that challenge though.

By disguising the second level within the roof space of the additions, the development for the most part is not unreasonably taller than the existing LHP or adjacent dwellings.

Where the development does become its tallest is at the rear of the site when the second storeys are contained within tall side gables above the garages. These walls have a shoulder height of 4.2m and an overall height of 7.1m to the gable top/ridge – 3 metres above the roof of the existing building.

Notwithstanding, these tall side gables are set back 19.5 metres from the building line of the existing building and will not be readily visible from Ann Street – mostly contained behind the roofing of the front sections of the proposed additions. Accordingly, the development is considered to satisfy Performance Outcomes 1.2 and 2.1 of the Local Heritage Place Overlay.

Performance Outcome 1.5 of the Historic Area Overlay states:

Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.

The additions are to be constructed with off white rendered walls and galvanised roofing to match the existing dwelling, consistent with this Performance Outcome.

Setbacks & Visual Impact

Performance Outcome 7.1 of the Established Neighbourhood Zone states:

Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.

The corresponding DPF suggests that some boundary walling should be reasonably anticipated in this locality.

Performance Outcome 20.3 of the Design in Urban Areas module states:

The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.

With respect to the additions for Dwelling 1, one boundary wall is proposed at the rear of the site for the garage. This wall measures 6.59m in length and is 3.5-3.6m in height. Approximately half of this wall will be concealed from view on the neighbouring allotment by their own rear garage. The other half of the wall will be directly visible from the private open space of the neighbouring dwelling. Despite the height, this wall is not expected to pose an unreasonable impact on the adjoining dwelling's amenity and is therefore considered to be an acceptable outcome.

The taller side gable – accommodating an upper-level bedroom – is sited above the boundary garage wall, but is set back 1.4m from the side boundary. The wall height extends to 4.1m height before reaching the gutters for the roof of the building, with the gable then extending to 7.1m above ground level at the ridge. At the proposed setback, and given the overall height of this addition, this building will have some impact on the visual amenity of the neighbouring dwelling's private open space. Again, the totality of the upper-level wall will not be directly visible from the neighbouring allotment due to its siting relative to their rear garage, and so such impacts are somewhat reduced. This aspect of the development is finely balanced in respect of whether the impacts to the neighbour are acceptable. Noting that the affected neighbour did not submit a representation during public notification, the impacts of the rear side gable are considered marginally acceptable.

With respect to the additions for Dwelling 2, these are constructed to the same height and setbacks as those described above for Dwelling 1. Where the garage boundary wall and upper-level side gable are sited is adjacent to a wall of the dwelling at 35A Ann Street that has only two small bathroom windows that would have views onto the development. Some oblique views of the development would be obtained from the private open

space of 35A Ann Street, but not to such an extent as to be considered to detrimentally affect their amenity.

Accordingly, the development is considered to satisfy both abovementioned Performance Outcomes.

Performance Outcome 8.1 of the Established Neighbourhood Zone states:

Buildings are set back from side boundaries to provide:

- (a) Separation between buildings in a way that complements the established character of the locality*
- (b) Access to natural light and ventilation for neighbours*

The balance of the proposed ground level additions are set back 3.3 metres from both side boundaries; satisfying this Performance Outcome. The balance of the upper-level setbacks are also considered sufficient to meet this Performance Outcome due to the upper levels being contained within the roof space of the additions for their majority and such roofs being of a suitable pitch and overall height as to not cause any unreasonable visual impact to neighbours.

Overshadowing & Overlooking

Performance Outcome 3.1 of the Interface Between Land Uses module states:

Overshadowing of habitable room windows of adjacent residential land uses in:

- (a) A neighbourhood-type zone is minimised to maintain access to direct winter sunlight...*

The Applicant has provided shadow diagrams for the winter solstice at 9am, 12pm and 3pm, to demonstrate the level of overshadowing that will arise from this development. These diagrams fail to show the extent of overshadowing in the vertical plane, so it is difficult to discern the additional shadowing to be cast by this development on the habitable room windows of 35A Ann Street. Notwithstanding that, the adjoining dwelling has only one habitable room window facing the subject side boundary – approximately halfway along the dwelling. This window is already shadowed by the boundary wall of an outbuilding on the development site, which is to be removed. The proposed development does not involve a boundary wall in the same location; in fact, the additions will be set back 3.3m from this boundary. The development is therefore expected to improve the amount of light provided to this bedroom window, which is a positive outcome for the neighbour and satisfies Performance Outcome 3.1 above.

Performance Outcome 3.2 of the Interface Between Land Uses module states:

Overshadowing of the primary area of private open space...of adjacent residential land uses in:

- (a) A neighbourhood-type zone is minimised to maintain access to direct winter sunlight...*

With respect to shadowing of the private open space of 35A Ann Street, the shadow diagrams show that this area is already significantly overshadowed in the afternoon due to vegetation currently on the site. This has been confirmed to be the case by administration by reviewing aerial imagery taken during winter.

The proposed development will increase the amount of shadow cast on this area in the afternoon; but only beyond midday. DPF 3.2 of the Interface Between Land Uses module suggests that overshadowing of half of existing ground level private open space for no more than 4 hours between 9am and 3pm during the winter solstice is an acceptable level of overshadowing. In other words, at least half of the POS should receive at least 2 hours of direct sunlight during the winter solstice. This is the case here, where most of the POS is

expected to receive at least 3-4 hours of direct sunlight during such time. Accordingly, Performance Outcome 3.2 above is considered to be satisfied.

Performance Outcome 3.1 of the Interface Between Land Uses module states:

Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:

- (a) The form of development contemplated in the zone*
- (b) The orientation of the solar energy facilities*
- (c) The extent to which the solar energy facilities are already overshadowed.*

The dwelling at 35A Ann Street has solar panels on the north-facing aspect of its roof. The shadow diagrams provided show that during the winter solstice, these panels will be partially shadowed throughout the day, with the most shadow being at 3pm where over half of the solar panel array will be under shadow. This shadowing is cast by the front section of the additions (i.e. not the tall gable ends at the rear), which are set back 3.3m from the shared boundary and have a roof that pitches away from this boundary at 37 degrees. The height and setback of these additions have been determined to be reasonable in the context of the zoning, and therefore any consequent overshadowing of the solar panels at 35A Ann Street are considered to be a reasonably-anticipated outcome in accordance with criterion (a) of Performance Outcome 3.1 above.

Performance Outcome 10.1 of the Design in Urban Areas module states:

Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.

The corresponding DPF suggests that two ways by which this might be achieved is by either having sill heights at least 1.5m above the internal floor level, or otherwise permanently obscuring windows to the same height. These are the most common means of satisfying this Performance Outcome.

In this respect, all of the proposed skylights for the upper-level additions have sill heights more than 1.5m above the internal floor level, and the windows in the side gables are both obscured to a height of 1.5m – both of which satisfy Performance Outcome 10.1 above and mitigate against direct overlooking into neighbouring POS and windows. A condition has been recommended to ensure such treatments remain in place ongoing.

Traffic Impact, Access and Parking

Performance Outcome 23.5 of the Design in Urban Areas module states:

Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.

Vehicle access for both dwellings will be obtained primarily from the rear laneway, with Dwelling 2 also seeking to utilise an existing crossover on Ann Street for the use of an additional, uncovered parking space.

The rear laneway has an established width of only 3 metres. To accommodate safe and convenient vehicle movements, the double-width garages for both dwellings have been setback at least 3.55m from the rear boundary; thus providing at least 6.55m distance between the garage doors and the opposite boundary of the rear laneway. This allows a B85 vehicle to enter and exit each garage space in no more than a three-point turn manoeuvre. This satisfies Performance Outcome 23.5 above.

Performance Outcome 5.1 of the Transport, Access and Parking module states:

Sufficient on-site vehicle parking...[is] provided to meet the needs of the development or land use having regard to factors that may support a reduce on-site rate...

The corresponding Designated Performance Feature suggests that each dwelling should be provided with 2 car parking spaces. Each dwelling is provided with 2 covered parking spaces, of suitable dimension, in their respective rear garages and accordingly this Performance Outcome is considered to be satisfied.

Site Coverage, Soft Landscaping and Private Open Space

Performance Outcome 3.1 of the Established Neighbourhood Zone states:

Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

The corresponding Designated Performance Feature suggests that site coverage should not exceed 60%.

Dwelling 1's site coverage has been calculated at 64.1%, and Dwelling 2's site coverage has been calculated at 65.1%. Despite exceeding the DPF recommendation, these site coverages are not inconsistent with the pattern of development in the locality, where site coverages on some sites are as high as 80%. Accordingly, Performance Outcome 3.1 is considered satisfied.

Performance Outcome 21.1 of the Design in Urban Areas module states:

Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.

The corresponding Designated Performance Feature suggests that, based on the respective site areas, Dwelling 1 should provide 60m² of private open space whereas Dwelling 2 should provide 24m² private open space.

Dwelling 1 is provided with approximately 55m² of private open space along the northern side of the dwelling. Despite being 5m² short of the DPF, this area is a suitably sized area that can function as usable private open space and is therefore considered sufficient to satisfy the Performance Outcome.

Dwelling 2 is provided with approximately 27m² of private open space, which complies with the DPF and is therefore considered acceptable.

Performance Outcome 22.1 of the Design in Urban Areas module states:

Soft landscaping is incorporated into development to:

- (a) Minimise heat absorption and reflection*
- (b) Contribute to shade and shelter*
- (c) Provide for stormwater infiltration and biodiversity*
- (d) Enhance the appearance of land and streetscapes.*

The corresponding Designated Performance Feature suggests that each dwelling site should be 20% comprised of soft landscaping.

To that end, the site of Dwelling 1 is comprised of a total of 48.6m² soft landscaping (15.9%), made up of:

- 40m² soft landscaping along the northern side of the dwelling; and
- 8.6m² soft landscaping on either side of the driveway crossover at the rear.

The site of Dwelling 2 is comprised of a total of 25.9m² soft landscaping (9%), made up of:

- 14m² on the southern side of the dwelling;
- 1.2m² in the front yard adjacent a proposed car space; and
- 10.7m² soft landscaping on either side of the driveway crossover at the rear.

If the car space at the front of the site was converted into a garden area comprised of soft landscaping, the total soft landscaping for Dwelling 2 would increase to 45.7m² and total 16.3% of the site. Although this change would be welcomed, it is not considered necessary to require this applicant to make this change for this application to warrant planning consent – especially since the crossover proposed to be used to access this driveway already exists. However, it is considered reasonable to require the driveway to be constructed of permeable paving, to assist with stormwater infiltration in accordance with PO 22.1 (above), and this has been recommended by way of Condition No. 3.

Overall, this proposal falls short of the expected soft landscaping provision for dwelling sites and is not considered to satisfy Performance Outcome 22.1 of the Design in Urban Areas, but this is not considered fatal to the application on balance.

Finished Floor Levels, Flood Risk and Stormwater Disposal

Performance Outcome 2.1 of the Hazards (Flooding – General) Overlay states:

Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of floodwaters is likely to result in undue damage to or compromise ongoing activities within buildings.

A previous development application lodged for this site for a similar development (but involving 3 dwellings) was referred to Council's external hydrological engineer for advice in respect of this Performance Outcome. Council's flood mapping has not changed since 2021 and neither has the relevant P&D Code policy, and so a new referral was not considered necessary. That advice is contained within **Attachment 7**.

The advice states that the finished floor level (FFL) of the existing building is slightly above the 1% AEP flood level in Ann Street (50.11 mAHD versus a 1% AEP floor level of up to 50.07 mAHD). Given the relatively shallow depths of flooding in Ann Street, it was determined that a freeboard of 150mm would provide sufficient protection to accord with Performance Outcome 2.1 above. The proposed additions have an FFL of 50.27 mAHD – 200mm above the 1% AEP levels in the street and therefore adequate.

As for the garage, however, flows in the rear laneway could inundate the property if the garage FFLs were not maintained at a minimum FFL of 51.1 mAHD. Thus, the proposed garage levels of 51.14mAHD are suitable and the development as a whole satisfies Performance Outcome 2.1 above.

The civil plan provided by the applicant shows all stormwater from roofs and hard-surfaced areas being directed to the Ann Street water table, which is the expected outcome because the rear laneway does not have any stormwater infrastructure capable of accommodating these flows. The only exception to this is the driveways for both garages, which fall towards the laneway and have no method of capturing stormwater that can be discharged to Ann Street. This area comprises almost 50m² and has the potential to introduce flows into an unsealed laneway that could be subject to ingress in a 1% AEP flood event.

Accordingly, it is deemed reasonable that surface water from the driveways is collected and discharged through to Ann Street; for example, using a strip drain. To that end, a reserved matter has been recommended to ensure that this takes place.

Question of Seriously at Variance

Having considered the proposal against the relevant provisions of the Planning & Design Code (version 2025.6, dated 27/03/2025), the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code for the following reasons:

- Dwelling additions, demolition and fencing are all forms of development that are envisaged within the Established Neighbourhood Zone; and
- While the height of the proposed development exceeds the 1 level TNV for this Zone, it is not seriously uncomplimentary or incompatible with the heights of surrounding buildings.

CONCLUSION

At first glance, this proposal has the appearance of an ambitious over-development of a site containing a relatively small Local Heritage Place. Following a more detailed interrogation of the particulars of the proposal, however, the merits of the development begin to come to light.

The proposal for a two-level addition behind a lowly-sited Local Heritage Place requires an intelligent, contextual design response. This proposal does this by constructing an addition with a roof of the same style and pitch as the existing cottages (albeit taller) and disguising the second storey within this roof. From Ann Street, the development will appear like a single storey addition and will sufficiently complement the existing historic streetscape and locality. The materials and colours to be used are consistent with the existing Local Heritage Place too.

At the rear of the site, both dwellings have double garages constructed boundary-to-boundary, above which a second level is accommodated within a tall gable-ended structure set back only 1.4m from each side boundary. Again, at first glance this development appears to be pushing the boundaries of what might be an acceptable built form outcome – in respect of visual impact and overshadowing – but further review shows that the siting of this development sufficiently responds to the siting of development and private open space on neighbouring allotments such that any consequent impacts are considered acceptable.

Both dwellings fall short on the generally expected amount of soft landscaping to be provided for each site, but this is not considered fatal to the application when considered as a whole. The finished floor levels provide sufficient freeboard in a 1% AEP flood event without unreasonably impacting on neighbouring allotments through additional fill.

Finally, the proposed internal demolition works are supported providing the applicant can demonstrate that the Local Heritage Place can be suitably stabilised, and the restoration works to the Local Heritage Place are reasonably anticipated and appropriate; the specific details of which can be resolved through satisfaction of a Reserved Matter.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

RECOMMENDATION 1

Not Seriously at Variance

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

RECOMMENDATION 2

Granting of Planning Consent

Development Application Number 25002154, by Peter Piliouras is granted Planning Consent subject to the following conditions and reserved matters:

RESERVED MATTER

Planning Consent

Reserved Matter 1

An updated civil plan shall be provided, to the reasonable satisfaction of the Assessment Manager, that allows for the collection of surface flows from the rear driveways of both dwellings, with discharge of such flows directed to the Ann Street water table.

Reserved Matter 2

Specific engineering detail shall be provided, to the reasonable satisfaction of the Assessment Manager, demonstrating how the Local Heritage Place will be stabilised following the proposed internal demolition works.

Reserved Matter 3

Specific details of the restoration works proposed to the Local Heritage Place shall be provided to the reasonable satisfaction of the Assessment Manager, for:

- Works to external masonry walls – scope of works and methodology, materials and colours to be used;
- Works to the roofing and stormwater infrastructure – materials, colours, gutter profile and downpipes to be used;
- Works to the doors and windows – scope of works and methodology, materials and colours to be used;
- Works to the front verandah, floor, posts and roof – scope of works and methodology, materials and colours to be used, detailed elevations.

NOTE: Further conditions may be imposed on the Planning Consent in respect of the above reserved matters.

Pursuant to Section 127(1) of the Planning, Development and Infrastructure Act 2016, the power to resolve and impose further conditions of consent in respect of, the reserved matters above is delegated to the Assessment Manager.

CONDITIONS

Planning Consent

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

Condition 2

All stormwater from buildings and hard-surfaced areas shall be disposed of in accordance with the herein approved Site and Drainage Layout Plan (prepared by Zafiris & Associates Pty Ltd, Job Number: 2250704, Drawing Number: CF5, dated 25 July 25).

Condition 3

The uncovered car parking space associated with Dwelling 2 shall be constructed of permeable paving/. Details of such treatment shall be provided with the documentation approved for Building Consent, to the reasonable satisfaction of the Assessment Manager.

Condition 4

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Council.

Condition 5

All upper floor windows shall either maintain sill heights of a minimum of 1500mm above floor level or be treated to a minimum height of 1500mm above floor level, within one (1) week of occupation of the building, in a manner that restricts views being obtained by a person within the room to the reasonable satisfaction of the Assessment Manager, and such treatment shall be maintained at all times to the reasonable satisfaction of the Council.

Condition 6

The retaining walls indicated on the approved plans are to be constructed prior to the commencement of the construction of the dwelling(s) to ensure that the land is suitably stabilised to prevent slip and pollution through soil erosion.

ADVISORY NOTES

Planning Consent

Advisory Note 1

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 3

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 4

The Applicant is advised that the property is a Local Heritage Place and that approval must be obtained for any works involving the construction, demolition, removal, conversion, alteration or addition to most building and/or structure (including fencing).

Advisory Note 5

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

Advisory Note 6

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 7

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

Advisory Note 8

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

Advisory Note 9

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 10

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

Advisory Note 11

If excavating, it is recommended you contact Before You Dig Australia (BYDA) (www.byda.com.au) to keep people safe and help protect underground infrastructure

Address: 33A -33B ANN ST STEPNEY SA 5069

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Property Zoning Details

Zone	Established Neighbourhood
Overlay	Airport Building Heights (Regulated) (All structures over 45 metres) Historic Area (NPSP19) Hazards (Flooding - General) Local Heritage Place (6410) Local Heritage Place (7682) Prescribed Wells Area Regulated and Significant Tree Stormwater Management Traffic Generating Development Urban Tree Canopy
Local Variation (TNV)	Minimum Frontage (Minimum frontage for a detached dwelling is 8m; semi-detached dwelling is 8m) Minimum Site Area (Minimum site area for a detached dwelling is 200 sqm; semi-detached dwelling is 200 sqm; row dwelling is 200 sqm) Maximum Building Height (Levels) (Maximum building height is 1 level) Site Coverage (Maximum site coverage is 60 per cent)

Demolition - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) ancillary accommodation (b) dwelling (c) dwelling addition (d) residential flat building. 	Except development that: <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)

	<p>or</p> <p>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) carport (c) deck (d) fence (e) internal building works (f) land division (g) outbuilding (h) pergola (i) private bushfire shelter (j) recreation area (k) replacement building (l) retaining wall (m) shade sail (n) solar photovoltaic panels (roof mounted) (o) swimming pool or spa pool and associated swimming pool safety features (p) temporary accommodation in an area affected by bushfire (q) tree damaging activity (r) verandah (s) water tank. 	<p>None specified.</p>

6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay: <ul style="list-style-type: none"> (a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres (b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres (c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level. 	Except where not undertaken by the Crown, a Council or an essential infrastructure provider.
7. Demolition.	Except any of the following: <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
8. Railway line.	Except where located outside of a rail corridor or rail reserve.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.

Demolition	
<p>PO 7.1</p> <p>Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless:</p> <ul style="list-style-type: none"> (a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or (b) the structural integrity or safe condition of the original building is beyond reasonable repair. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
Ruins	
<p>PO 8.1</p> <p>Development conserves and complements features and ruins associated with former activities of significance.</p>	<p>DTS/DPF 8.1</p> <p>None are applicable.</p>

Historic Area Statements

Statement#	Statement				
Historic Areas affecting City of Norwood, Payneham and St Peters					
	<p>Stepney Historic Area Statement (NPSP19)</p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p> <table> <tr> <td>Eras, themes and context</td><td>1850 - 1890s. Detached, semi-detached and row dwellings.</td></tr> <tr> <td>Allotments, subdivision and built form patterns</td><td> <p>Intricate pattern of development.</p> <p>Dwellings built on small, narrow-fronted allotments, close to the street frontage with minimal setbacks and separation.</p> <p>Primary dwelling frontages to streets, not lanes.</p> </td></tr> </table>	Eras, themes and context	1850 - 1890s. Detached, semi-detached and row dwellings.	Allotments, subdivision and built form patterns	<p>Intricate pattern of development.</p> <p>Dwellings built on small, narrow-fronted allotments, close to the street frontage with minimal setbacks and separation.</p> <p>Primary dwelling frontages to streets, not lanes.</p>
Eras, themes and context	1850 - 1890s. Detached, semi-detached and row dwellings.				
Allotments, subdivision and built form patterns	<p>Intricate pattern of development.</p> <p>Dwellings built on small, narrow-fronted allotments, close to the street frontage with minimal setbacks and separation.</p> <p>Primary dwelling frontages to streets, not lanes.</p>				

Statement#	Statement	
NPSP19	Architectural styles, detailing and built form features	Single and double fronted single storey cottages, in detached, semi-detached and row dwelling configurations, with some modest villas and bungalows. Dwellings simple in structure and plan.
	Building height	Single storey.
	Materials	Bluestone and sandstone.
	Fencing	Low, open fencing that reflects the period and style of the dwellings. Front fencing (including any secondary street frontage up to the alignment to the main face of the dwelling) generally low in height up to 1.2m, allowing views to dwelling. Timber picket, timber dowelling, masonry and cast iron palisade.
	Setting, landscaping, streetscape and public realm features	Street trees feature to a varying degree due to the species selection and age of planting. Rear lanes used for vehicular access and garages
	Representative Buildings	Identified - refer to SA planning database.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Local Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues are retained unless:	DTS/DPF 5.1 None are applicable.

<p>(a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.</p>	
Demolition	
<p>PO 6.1 Local Heritage Places are not demolished, destroyed or removed in total or in part unless:</p> <p>(a) the portion of the Local Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value or (b) the structural integrity or condition of the Local Heritage Place represents an unacceptable risk to public or private safety and is irredeemably beyond repair.</p>	<p>DTS/DPF 6.1 None are applicable.</p>
<p>PO 6.2 The demolition, destruction or removal of a building, portion of a building or other feature or attribute is appropriate where it does not contribute to the heritage values of the Local Heritage Place.</p>	<p>DTS/DPF 6.2 None are applicable.</p>
Conservation Works	
<p>PO 7.1 Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work methods.</p>	<p>DTS/DPF 7.1 None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

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Property Zoning Details

Zone

Established Neighbourhood

Overlay

- Airport Building Heights (Regulated) (*All structures over 45 metres*)
- Historic Area (*NPSP19*)
- Hazards (Flooding - General)
- Local Heritage Place (*6410*)
- Local Heritage Place (*7682*)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy

Local Variation (TNV)

- Minimum Frontage (*Minimum frontage for a detached dwelling is 8m; semi-detached dwelling is 8m*)
- Minimum Site Area (*Minimum site area for a detached dwelling is 200 sqm; semi-detached dwelling is 200 sqm; row dwelling is 200 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 1 level*)
- Site Coverage (*Maximum site coverage is 60 per cent*)

Selected Development(s)

Dwelling addition

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.
If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Dwelling addition - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature		
Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table><tr><th>Site Coverage</th></tr><tr><td>Maximum site coverage is 60 per cent</td></tr></table> <p>In instances where:</p> <ul style="list-style-type: none">(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.	Site Coverage	Maximum site coverage is 60 per cent
Site Coverage			
Maximum site coverage is 60 per cent			
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <ul style="list-style-type: none">(a) the following: <table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 1 level</td></tr></table> <ul style="list-style-type: none">(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m. <p>In relation to DTS/DPF 4.1, in instances where:</p> <ul style="list-style-type: none">(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical</i>	Maximum Building Height (Levels)	Maximum building height is 1 level
Maximum Building Height (Levels)			
Maximum building height is 1 level			

	<p>and Numeric Variation layer or Maximum Building Height (Meters) Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p> <p>or</p> <p>(b) meet all of the following:</p> <p>(i) do not include any development forward of the front façade building line</p> <p>(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</p>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p> <p>or</p>

	<p>(b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <p>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(ii) side boundary walls do not:</p> <p>A. exceed 3.2m in wall height from the lower of the natural or finished ground level</p> <p>B. exceed 8m in length</p> <p>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <p>(b) in all other cases (i.e., there is a blank field), then:</p> <p>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</p> <p>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</p> <p>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</p>
Rear Boundary Setback	
<p>PO 9.1</p>	<p>DTS/DPF 9.1</p>

Buildings are set back from rear boundaries to provide:	Other than in relation to an access lane way, buildings are set back from the rear boundary at least:
<ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level.
Appearance	
PO 10.1 Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.	DTS/DPF 10.1 Garages and carports facing a street (other than an access lane way): <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.
PO 10.2 The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	DTS/DPF 10.2 None are applicable.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.

<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) ancillary accommodation (b) dwelling (c) dwelling addition (d) residential flat building. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan 	<p>None specified.</p>

<ul style="list-style-type: none"> (b) carport (c) deck (d) fence (e) internal building works (f) land division (g) outbuilding (h) pergola (i) private bushfire shelter (j) recreation area (k) replacement building (l) retaining wall (m) shade sail (n) solar photovoltaic panels (roof mounted) (o) swimming pool or spa pool and associated swimming pool safety features (p) temporary accommodation in an area affected by bushfire (q) tree damaging activity (r) verandah (s) water tank. 	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> (a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres (b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres (c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level. 	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
Placement of Notices - Exemptions for Performance Assessed Development	
<p>None specified.</p>	
Placement of Notices - Exemptions for Restricted Development	
<p>None specified.</p>	

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the	DTS/DPF 1.1 None are applicable.

historic streetscapes and built form as expressed in the Historic Area Statement.	
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP19	Stepney Historic Area Statement (NPSP19) The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality. These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area. The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.	
	Eras, themes and context	1850 - 1890s. Detached, semi-detached and row dwellings.
	Allotments, subdivision and built form patterns	Intricate pattern of development. Dwellings built on small, narrow-fronted allotments, close to the street frontage with minimal setbacks and separation. Primary dwelling frontages to streets, not lanes.
	Architectural styles, detailing and built form features	Single and double fronted single storey cottages, in detached, semi-detached and row dwelling configurations, with some modest villas and bungalows. Dwellings simple in structure and plan.
	Building height	Single storey.
	Materials	Bluestone and sandstone.
	Fencing	Low, open fencing that reflects the period and style of the dwellings. Front fencing (including any secondary street frontage up to the alignment to the main face of the dwelling) generally low in height up to 1.2m, allowing views to dwelling. Timber picket, timber dowelling, masonry and cast iron palisade.
	Setting, landscaping, streetscape and public realm features	Street trees feature to a varying degree due to the species selection and age of planting. Rear lanes used for vehicular access and garages
	Representative Buildings	Identified - refer to SA planning database.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Local Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	DTS/DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	DTS/DPF 1.6 None are applicable.
PO 1.7 Development of a Local Heritage Place retains features contributing to its heritage value.	DTS/DPF 1.7 None are applicable.

Alterations and Additions	
<p>PO 2.1</p> <p>Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Adaptive reuse and revitalisation of Local Heritage Places to support their retention in a manner that respects and references the original use of the Local Heritage Place.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
Landscape Context and Streetscape Amenity	
<p>PO 5.1</p> <p>Individually heritage listed trees, parks, historic gardens and memorial avenues are retained unless:</p> <ul style="list-style-type: none"> (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short. 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
Conservation Works	
<p>PO 7.1</p> <p>Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work methods.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission

powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):

	<ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
Overlooking / Visual Privacy (low rise buildings)	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</p>	<p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases

All residential development											
Outlook and Amenity											
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.										
Residential Development - Low Rise											
External appearance											
PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable										
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to: (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): (a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): (a) single width car parking spaces:										

	<ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p>

<p>movements from the public road to on-site parking spaces.</p>	<p>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</p> <p>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</p> <div data-bbox="925 436 1492 1153" data-label="Diagram"> </div> <p>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</p>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
<p>Waste storage</p>	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <p>(a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</p>

- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in: a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following: a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m ² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.
PO 3.3 Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:	DTS/DPF 3.3 None are applicable.

<ul style="list-style-type: none"> (a) the form of development contemplated in the zone (b) the orientation of the solar energy facilities (c) the extent to which the solar energy facilities are already overshadowed. 	
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Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

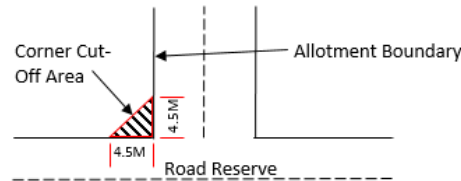
Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area (b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.	
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone City Main Street Zone City Riverbank Zone

		<p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
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Address: 33A -33B ANN ST STEPNEY SA 5069

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Established Neighbourhood

Overlay

- Airport Building Heights (Regulated) (*All structures over 45 metres*)
- Historic Area (*NPSP19*)
- Hazards (Flooding - General)
- Local Heritage Place (*6410*)
- Local Heritage Place (*7682*)
- Prescribed Wells Area
- Regulated and Significant Tree
- Stormwater Management
- Traffic Generating Development
- Urban Tree Canopy

Local Variation (TNV)

- Minimum Frontage (*Minimum frontage for a detached dwelling is 8m; semi-detached dwelling is 8m*)
- Minimum Site Area (*Minimum site area for a detached dwelling is 200 sqm; semi-detached dwelling is 200 sqm; row dwelling is 200 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 1 level*)
- Site Coverage (*Maximum site coverage is 60 per cent*)

Selected Development(s)

Fence

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.
If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Fence - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)

<p>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</p>	<p>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</p>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) ancillary accommodation (b) dwelling (c) dwelling addition (d) residential flat building. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) carport (c) deck (d) fence (e) internal building works (f) land division 	<p>None specified.</p>

<ul style="list-style-type: none"> (g) outbuilding (h) pergola (i) private bushfire shelter (j) recreation area (k) replacement building (l) retaining wall (m) shade sail (n) solar photovoltaic panels (roof mounted) (o) swimming pool or spa pool and associated swimming pool safety features (p) temporary accommodation in an area affected by bushfire (q) tree damaging activity (r) verandah (s) water tank. 	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> (a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres (b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres (c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level. 	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
Placement of Notices - Exemptions for Performance Assessed Development	
<p>None specified.</p>	
Placement of Notices - Exemptions for Restricted Development	
<p>None specified.</p>	

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration,

	streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Ancillary development	
PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.	DTS/DPF 4.4 None are applicable.

Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP19	Stepney Historic Area Statement (NPSP19) The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality. These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area. The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.	
	Eras, themes and context	1850 - 1890s. Detached, semi-detached and row dwellings.
	Allotments, subdivision and built form patterns	Intricate pattern of development. Dwellings built on small, narrow-fronted allotments, close to the street frontage with minimal setbacks and separation. Primary dwelling frontages to streets, not lanes.
	Architectural styles, detailing and built form features	Single and double fronted single storey cottages, in detached, semi-detached and row dwelling configurations, with some modest villas and bungalows. Dwellings simple in structure and plan.
	Building height	Single storey.
	Materials	Bluestone and sandstone.

Statement#	Statement	
	Fencing	Low, open fencing that reflects the period and style of the dwellings. Front fencing (including any secondary street frontage up to the alignment to the main face of the dwelling) generally low in height up to 1.2m, allowing views to dwelling. Timber picket, timber dowelling, masonry and cast iron palisade.
	Setting, landscaping, streetscape and public realm features	Street trees feature to a varying degree due to the species selection and age of planting. Rear lanes used for vehicular access and garages
	Representative Buildings	Identified - refer to SA planning database.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Local Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3	DTS/DPF 1.3

Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	DTS/DPF 1.5 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.

Transport, Access and Parking

Assessment Provisions (AP)

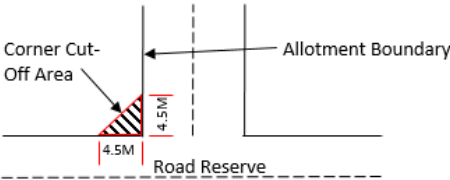
Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Sightlines	
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off

Area in the following diagram:



Ref: 20ADL-0084



Adelaide
12/154 Fullarton Rd
Rose Park, SA 5067
08 8333 7999

Melbourne
29-31 Rathdowne St
Carlton, VIC 3053

03 8593 9650

urps.com.au

28 January 2025

Mr Geoff Parsons
Assessment Manager
City of Norwood, Payneham and St Peters
175 The Parade
Norwood SA 5067

Dear Geoff

Planning Support Accompanying the Development Application for Alterations and Additions to 33A-33B Ann Street, Stepney

Introduction

This correspondence accompanies the Development Application referred to above. It establishes the planning justification for the proposed development.

Description of Development

The proposed development is most appropriately described as alterations and additions to an existing residential flat building containing two dwellings. The alterations and additions include a two-storey component towards the rear of the site, together with double garages accessed off the rear laneway.

It is intended that the site is subdivided to create a pair of semi-detached dwellings in the future. That land division does not form part of this current development application.

Background

The existing building is a Local Heritage Place, described in its listing as an unusual pair of attached dwellings, comprising a single fronted cottage and a symmetrical cottage with separate hipped, corrugated iron roofs, joined across the front by a continuous parapeted wall and steeply pitched concave verandah.

Three, two-storey row dwellings were initially proposed for the subject site. The design team met with Council staff, including the Council's heritage advisor, to review early plans for that proposal. While some positive elements were acknowledged, several concerns were also expressed by Council staff. This resulted in significant redesign of the proposal to what is now two dwellings.



I have attached minutes of our most recent pre-lodgement meeting with Kieron Fairbrother and David Brown regarding the current design for your information.

Subject Site

The subject site is an irregular shape that is approximately 18.5m wide along the Ann Street frontage and 31.9m deep on the southern side. It has an area of approximately 585m². It slopes gradually from a high point at the rear down to Ann Street.

The existing building is a residential flat building containing two dwellings. It is listed as a Local Heritage Place. All vegetation and outbuildings will be removed during the construction process.

Zoning and Assessment Process

The subject site sits in the Established Neighbourhood Zone under the Planning & Design Code (the Code) – version 2024-23 dated 19 December 2024.

The proposed development is subject to the Performance Assessed process.

Table 5 in the General Neighbourhood Zone states that dwellings and residential flat buildings do not require public notification, except where they exceed the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or there is a wall on a side boundary that exceeds 3.2m high measured from the top of the footings.

The proposed development exceeds DTS/DPF 4.1 because it is 2 building levels. Its also has walls on side boundaries taller than 3.2m. Therefore, the proposed development requires public notification.

Land Use and Dwelling Type

Dwellings are expressly anticipated types of development in the Established Neighbourhood Zone.

Residential flat buildings are not an expressly anticipated dwelling type on this site. The proposed dwelling type remains unchanged, however, as part of this development.

Semi-detached dwellings are an anticipated dwelling type on this site – see DPF 2.1 of the Established Neighbourhood Zone. The longer-term/separate subdivision of the site will readily satisfy the Code.



Summary of Quantitative Performance

A summary of the performance of the proposed development against the relevant quantitative Designated Performance Features (DPFs) in the Code is provided in the following table:

Design Element	DPFs	Proposal	DPF Satisfied
Lot Size	200m ² per dwelling	304m ² for Dwelling 1 281m ² for Dwelling 2	Yes Yes
Frontage	8m	No change for Dwelling 1 No change for Dwelling 2	N/A N/A
Site Coverage	60%	64% for Dwelling 1 65% for Dwelling 2	No No
Height	1 level	2 levels both dwellings	No
Private Open Space	24m ² per dwelling	56m ² for Dwelling 1 28m ² for Dwelling 2	Yes Yes
Front Setback	Average of two adjoining dwellings	No change to existing	Yes
Rear Setback	No quantitative guideline to rear laneway	3.6-4.4m	N/A
Walls on Side Boundaries	Less than 3.2m high and 8m long Not more than 45% of the length of the boundary Not within 3m of existing wall on the boundary	3.7m high for Dwelling 1 3.3m and 3.6m for Dwelling 2 21% for Dwelling 1 43% for Dwelling 2 N/A for Dwelling 1 8.0m for Dwelling 2	No No Yes Yes Yes Yes
On-Site Parking	2 spaces per dwelling	2 spaces for Dwelling 1 3 Spaces for Dwelling 2	Yes Yes

Variations from the DPFs identified in the Table above are discussed in detail below.

Site Coverage

Performance Outcome and Designated Performance Feature 3.1 in the Established Neighbourhood Zone state:



PO 3.1 Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

DPF 3.1 Development does not result in site coverage exceeding:
Maximum site coverage is 60 per cent... (underlining added)

The proposed site coverage for both dwellings is 64-65%. This variation from the quantitative guideline in DPF 3.1 is acceptable in this instance because:

- Site coverages for dwellings in this locality are generally high, typical of gentrified inner-urban areas, so that the proposed site coverage is consistent with the character and pattern of the neighbourhood.
- There remains sufficient space around the proposed dwellings to limit visual impact on both the street and neighbours.
- Residents of both dwellings will have an attractive outlook and good access to light and ventilation.

Building Height

Performance Outcome 4.1 of the Established Neighbourhood Zone states:

PO 4.1 Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

DPF 4.1 Building height (excluding garages, carports and outbuildings) is no greater than:...
Maximum building height is 1 level... (underlining added)

The proposed dwellings are 1 level along the street frontage and 2 levels towards the rear of the site. The rear additions respond to the levels change between Ann Street and the rear laneway. This means that the garages and rooms above sit higher than the rest of the dwellings.

Importantly, the proposed dwellings have a single storey appearance when viewed from Ann Street so that they complement the height of nearby dwellings as anticipated by PO 4.1. Sightlines are shown on the North Elevation confirming this.

The second building level will not be visible when viewing the dwellings front-on from the eastern side of Ann Street. Only a small part of the roof of the second building level is visible from the western side of Ann Street.

There are also examples of similar two-storey dwellings in the locality including the adjoining semi-detached dwellings to the north at 35a-35b Ann Street and 44 Ann Street (see images below).



Photo 1: Adjoining two-storey semi-detached dwellings at 35a-35b Ann Street.



Photo 2: Nearby two-storey detached dwelling at 44 Ann Street.



Boundary Walls

Performance Outcome and Designated Performance Feature 7.1 in the Established Neighbourhood Zone state:

- PO 7.1 Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties. (underlining added)
- DPF 7.1 Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:
- (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
 - (b) side boundary walls do not:
 - (i) exceed 3.2m in height from the top of footings
 - (ii) exceed 8m in length
 - (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
 - (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land. (underlining added)

The Interface Between Land Uses section of the Code contains the following Performance Outcomes and Designated Performance Features relating to overshadowing in more detail:

- PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in:
- (a) a neighbourhood-type zone is minimised to maintain access to direct winter sunlight
 - (b) other zones is managed to enable access to direct winter sunlight.
- DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
- PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:
- (a) a neighbourhood type zone is minimised to maintain access to direct winter sunlight
 - (b) other zones is managed to enable access to direct winter sunlight.
- DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:
- (a) for ground level private open space, the smaller of the following:
 - (i) half the existing ground level open space, or



- (ii) 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)
- (b) for ground level communal open space, at least half of the existing ground level open space.

PO 3.3 Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:

- (a) the form of development contemplated in the zone
- (b) the orientation of the solar energy facilities
- (c) the extent to which the solar energy facilities are already overshadowed.
(underlining added)

The proposed side boundary walls of both dwellings are slightly taller than 3.2m being 3.7m high for Dwelling 1 and 3.3m-3.6m for Dwelling 2. This variation from the quantitative guideline in DPF 3.1 is acceptable in this instance because:

- The quantitative variations are only relatively minor at between 100-500mm.
- The proposed side boundary wall of Dwelling 1 will only be partially visible from the courtyard of the dwelling to the north and will not overshadow that courtyard.
- The proposed garage side boundary wall of Dwelling 2 sits adjacent to a wall of the adjoining dwelling to the south and will not unreasonably overshadow the private open space or solar panels of this dwelling.
- The proposed bedroom/ensuite side boundary wall of Dwelling 2 sits adjacent to a courtyard of the adjoining dwelling to the south. While this wall will overshadow the adjacent courtyard in mid-winter, this courtyard is already largely roofed and in shade. The proposed wall will also not unreasonably overshadow solar panels of the adjoining dwelling to the south.

Heritage Conservation

There are several provisions in the Code applicable to this site relating to heritage conservation. These are contained within the Historic Area Overlay and Local Heritage Area Overlay. The proposed development satisfies these various provisions in the following way:

- The form, massing and detailing of the Local Heritage Place at the front of the site are preserved and restored.
- The height and mass of the proposed additions is subtly incorporated so as to not dominate either the Local Heritage Place or the streetscape.
- Many of the new wall heights complement the parapet wall heights of the Local Heritage Place and the adjoining semi-detached dwelling to the north.



- The proposed setbacks are sufficiently complementary from all site boundaries.
- Building materials are consistent with those used in historic buildings in the area.

The proposed development includes an open, on-site parking space accessed off Ann Street in the south-west corner of the site. Using this as an open off-street parking space took advantage of an existing kerb crossover (i.e. does not diminish on-street parking), helps address a carparking shortage in this locality, and provides ready access to the dwelling for people who have accessibility challenges.

A sliding picket gate is proposed across the front boundary and creeper/vegetation along the southern side fence.

Conclusion

The proposed alterations and additions have been sensitively designed to complement the heritage values of the Local Heritage Place and appropriately manage amenity impacts on neighbours.

This development will rejuvenate this much maligned Local Heritage Place and introduce additional usable infill housing.

Importantly, the proposed development satisfies the majority of quantitative guidelines and all relevant qualitative provisions in the Code.

I look forward to Council's support of this carefully designed infill housing and the issuing of Planning Consent.

Yours sincerely

Marcus Rolfe
Director



STREET VIEW

boundary 18290

demolish full extent of existing shed

remove existing tree

generally demolish and remove all
existing works and vegetation to rear
yard to suit new work

remove existing tree

remove existing tree

demolish full
extent of existing
shed

boundary 31880

boundary 31830

remove existing
roof sheet and
leave ready for
replacement
sheeting

remove all
existing ceilings
and leave ready
for replacement
ceilings

remove existing
rotting fascias
and gutters and
replace with new
to match existing

demolish existing
internal walls full
height shown
dashed

remove existing
door, widen
opening and form
new doorway

remove all existing
joinery, sanitary and
tapware

remove existing windows
and doors to be built in
as part of new works

demolish full extent of existing lean-to

new full height door openings

remove existing chimney
breasts and associated
chimneys full height

remove existing window,
widen opening and form
new doorway

remove all remaining
doors and windows to be
replaced with new to
match existing

remove existing picket
fence and gates and
leave ready to replace
with new to match
removed

retain existing chimney
breasts and associated
chimneys full height

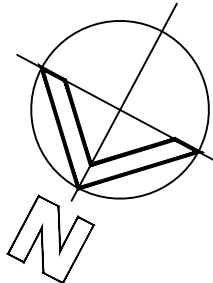
demolish existing
internal walls full
height shown
dashed

remove existing
internal walls full
height shown
dashed

Attachment 1

boundary 18480

a n n s t r e e t



DEMOLITION PLAN 1:100 AT A3

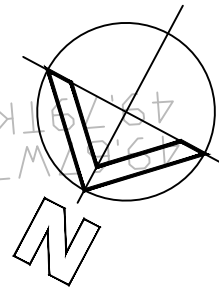
0 0.5 1 5m

PROPOSED DWELLINGS

33 ANN STREET STEPNEY

sk000.2

1:100 AT A3



A horizontal scale bar with a vertical tick mark at the right end, labeled '5m' above it.

externally make good, re-roof and re-paint existing dwelling

anoster

remove and replace existing picket fence and gates shown dotted in foreground	maintain existing crossover
--	-----------------------------------

boundary 18480

ver 21

new 1.8m
high picket
side fence
and gate

maintain
existing
boundary
fencing

new slimline
rainwater
tanks, 2000 -
litres retention
1000 litres
retention

adjacent
dwelling

Page 11 of 55

boundary 31830

garage 1.1

FFI RI 51 14

1a

pdr

1a2.1

garage 2.1

FFI RI 51 14

dwelling

dwelling

boundary 18290

adjacent
garages

replace colorbond
boundary fences

adjacent dwelling

new slimline
rainwater
tanks, 2000
litres retention,
1000 litres
retention

replacement
1.8m high
- custom orb
fencing

adjacent
courtyard

replacement
2.1m high
custom orb
fencing with
new climbing
plants over

sliding picket
gate to match
picket fencing to
main dwelling

remove and replace
existing picket fence
and gates shown
dotted in foreground

externally make good, re-roof and re-paint existing dwelling

A horizontal scale bar with a vertical tick mark at the right end, labeled '5m' below it.

1:100 AT A3

sk01.2b



first floor within
roof space

areas

dwelling 01

ground floor living 136sqm
first floor living 68sqm
garage 44sqm
verandah 14sqm
total 262sqm

site 304sqm
private open space 56sqm

dwelling 02

ground floor living 131sqm
first floor living 68sqm
garage 44sqm
verandah 8sqm
total 251sqm

site 281sqm
private open space 28sqm

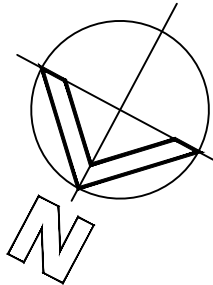
total site

site 585sqm
site coverage 64%
landscaping 80sqm
14% site

adjacent dwelling

Attachment 1

adjacent
courtyard



sk02.2b

FIRST FLOOR AND SITE PLAN

1:100 AT A3

0 0.5 1 5m

a n n s t r e e t

PROPOSED DWELLINGS

33 ANN STREET STEPNEY



0 0.5 1 5m

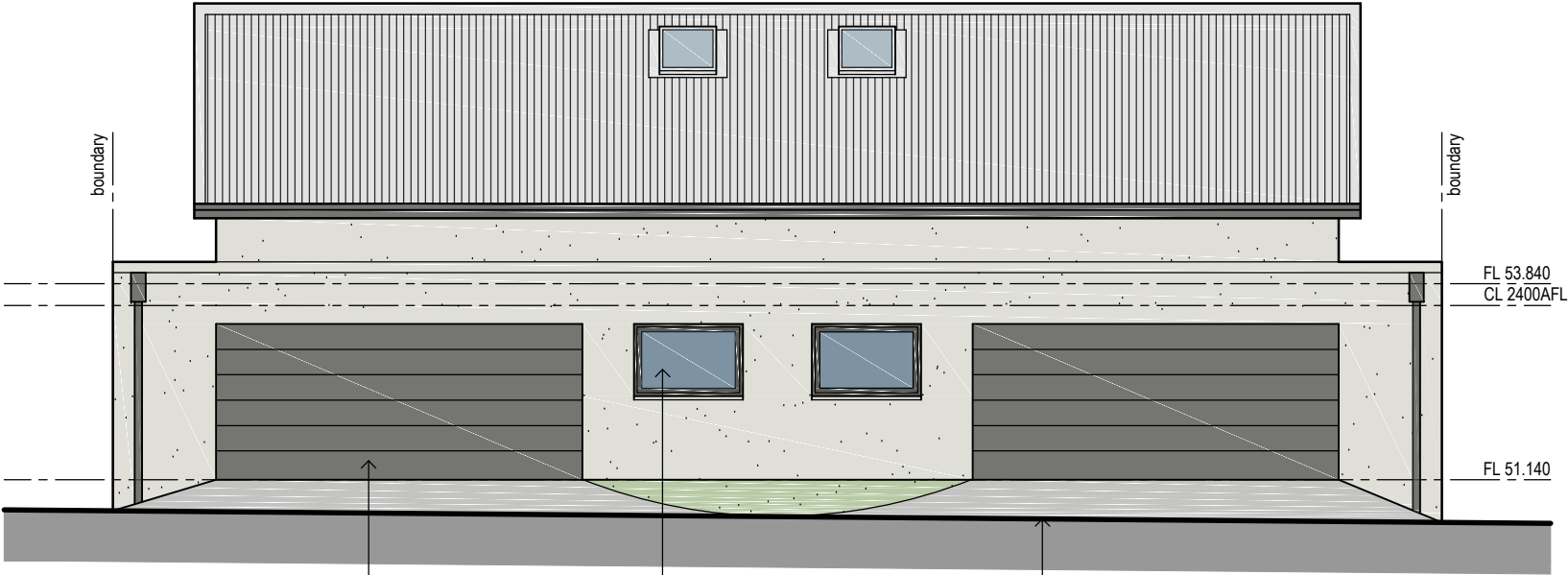
PROPOSED DWELLINGS
33 ANN STREET STEPNEY

materials and finishes

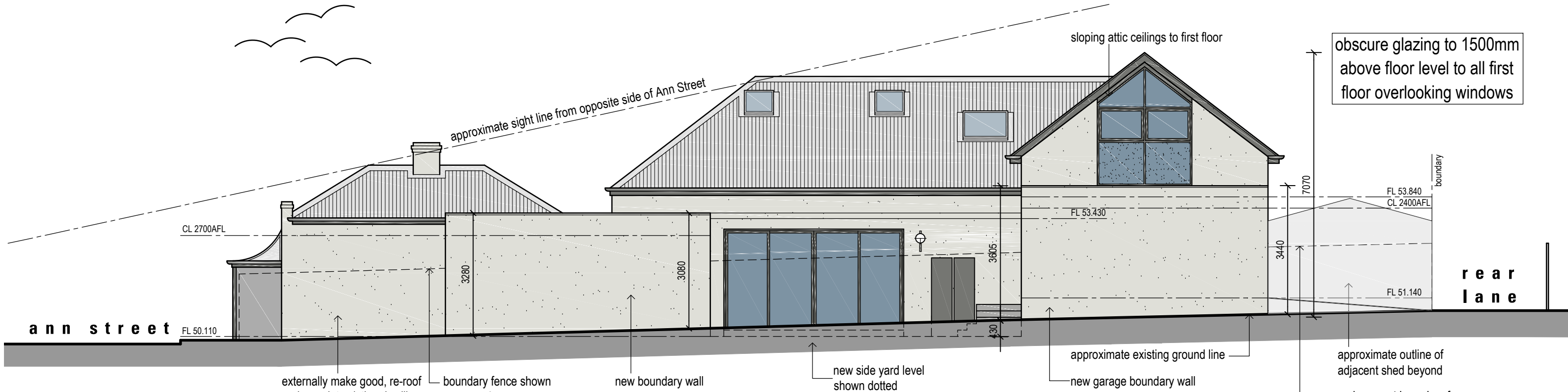
- walls - off white render
- roof - galvanised custom orb
- windows - grey
- garage doors - grey
- paving - clay brick paving
 - concrete driveway to rear lane
- fencing - galvanised custom orb
 - painted timber picket fencing to match existing

externally make good :

- repair salt damp and superficial cracking
- replace rotten timber with new to match existing size and profile
- replace rotten gutters with new to match existing size and profile
- replace existing roof sheeting and cappings with new to match existing profile
- strip and re-paint existing timber windows. Retain existing glazing
- re-paint all existing surfaces that are currently painted



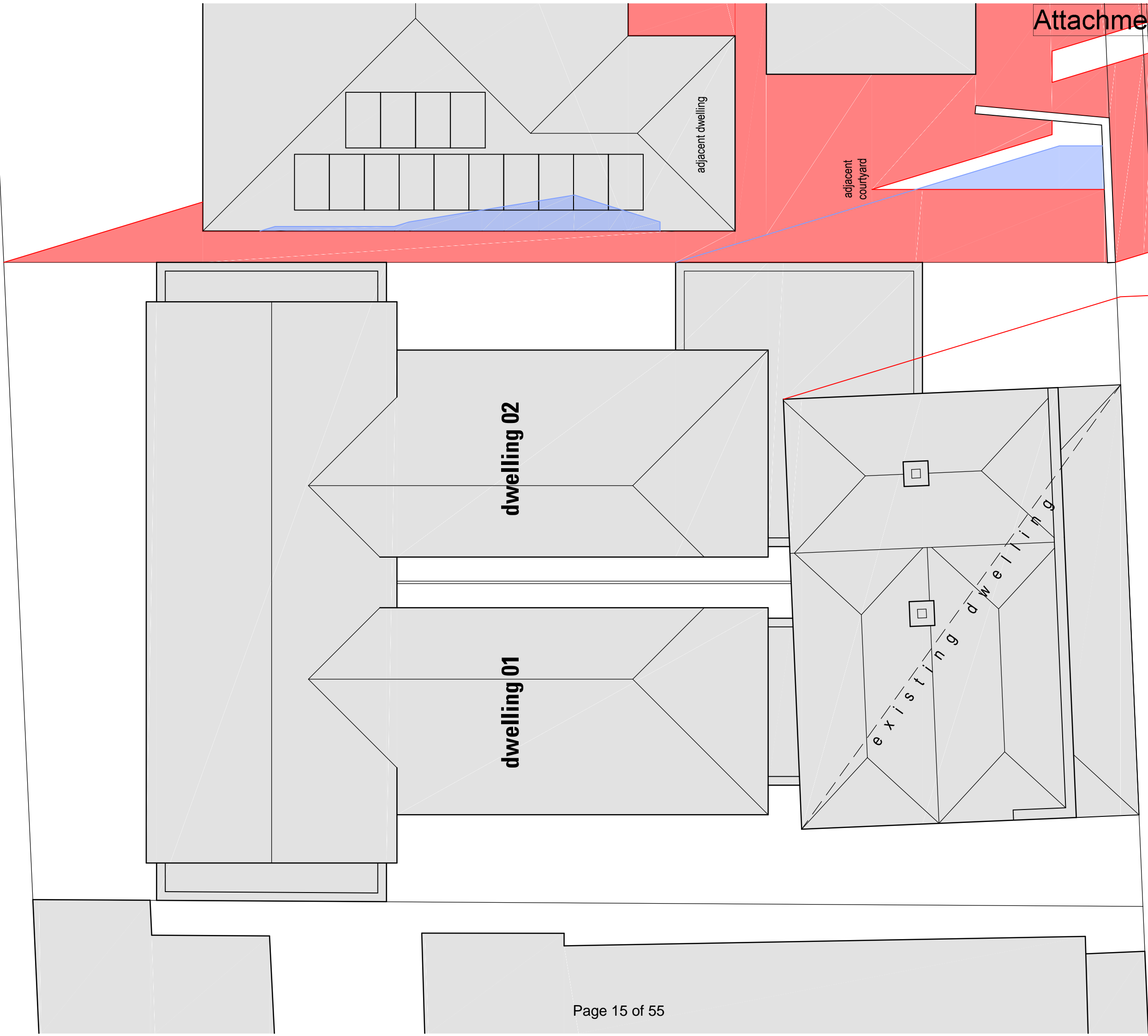
EAST ELEVATION 1:100 AT A3



SOUTH ELEVATION 1:100 AT A3

0 0.5 1 5m

PROPOSED DWELLINGS
33 ANN STREET STEPNEY



Attachment 1

- existing shadow on the ground
cast by current development
- additional shadow cast by
proposed development

a n n s t r e e t

SHADOW DIAGRAM 21 JUNE 9.00 am

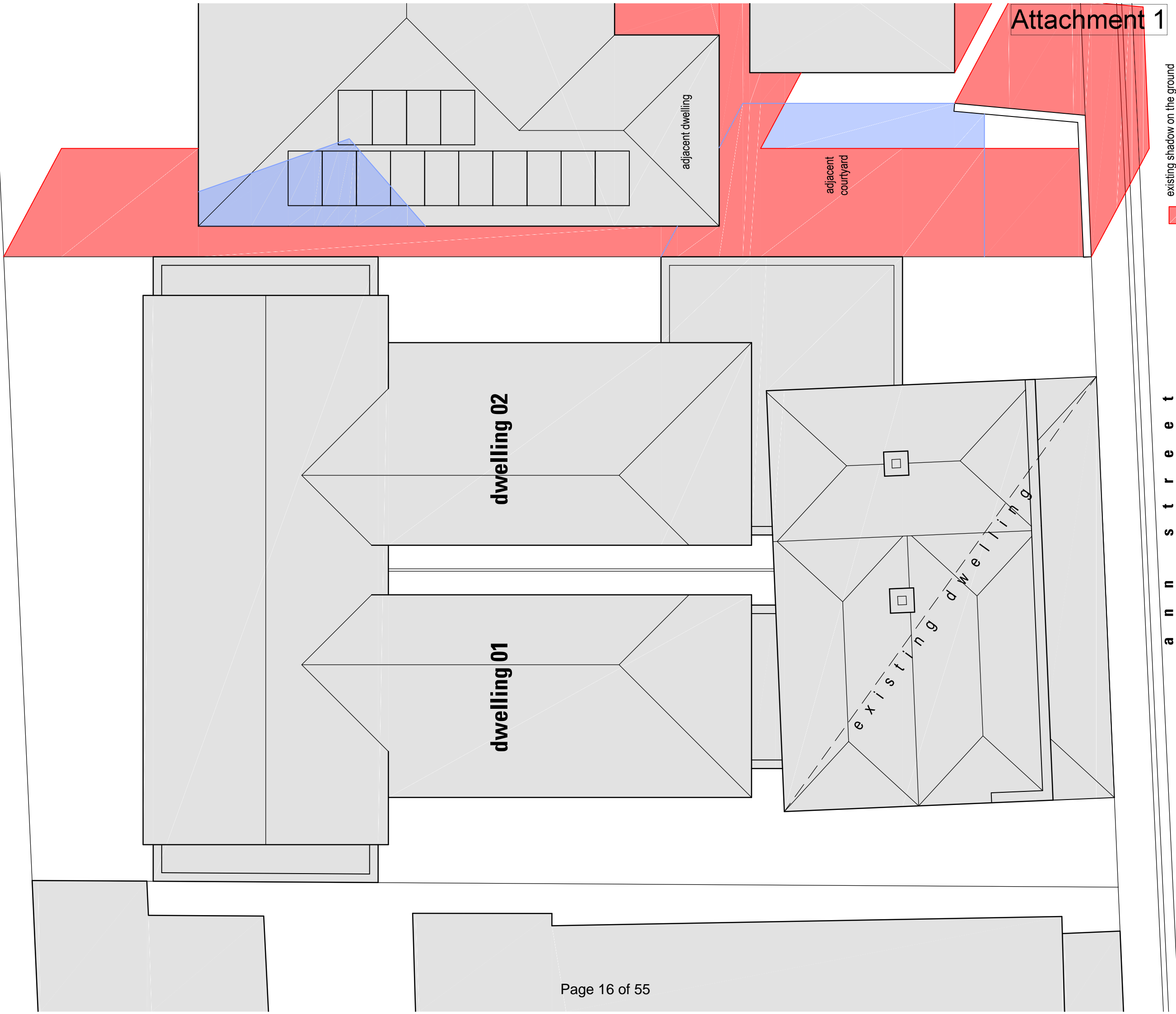
1:100 AT A3

0 1 5m

PROPOSED DWELLINGS

sk05.2

33 ANN STREET STEPNEY

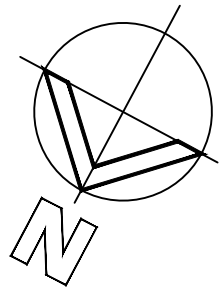


Attachment 1

- existing shadow on the ground
- cast by current development
- additional shadow cast by proposed development

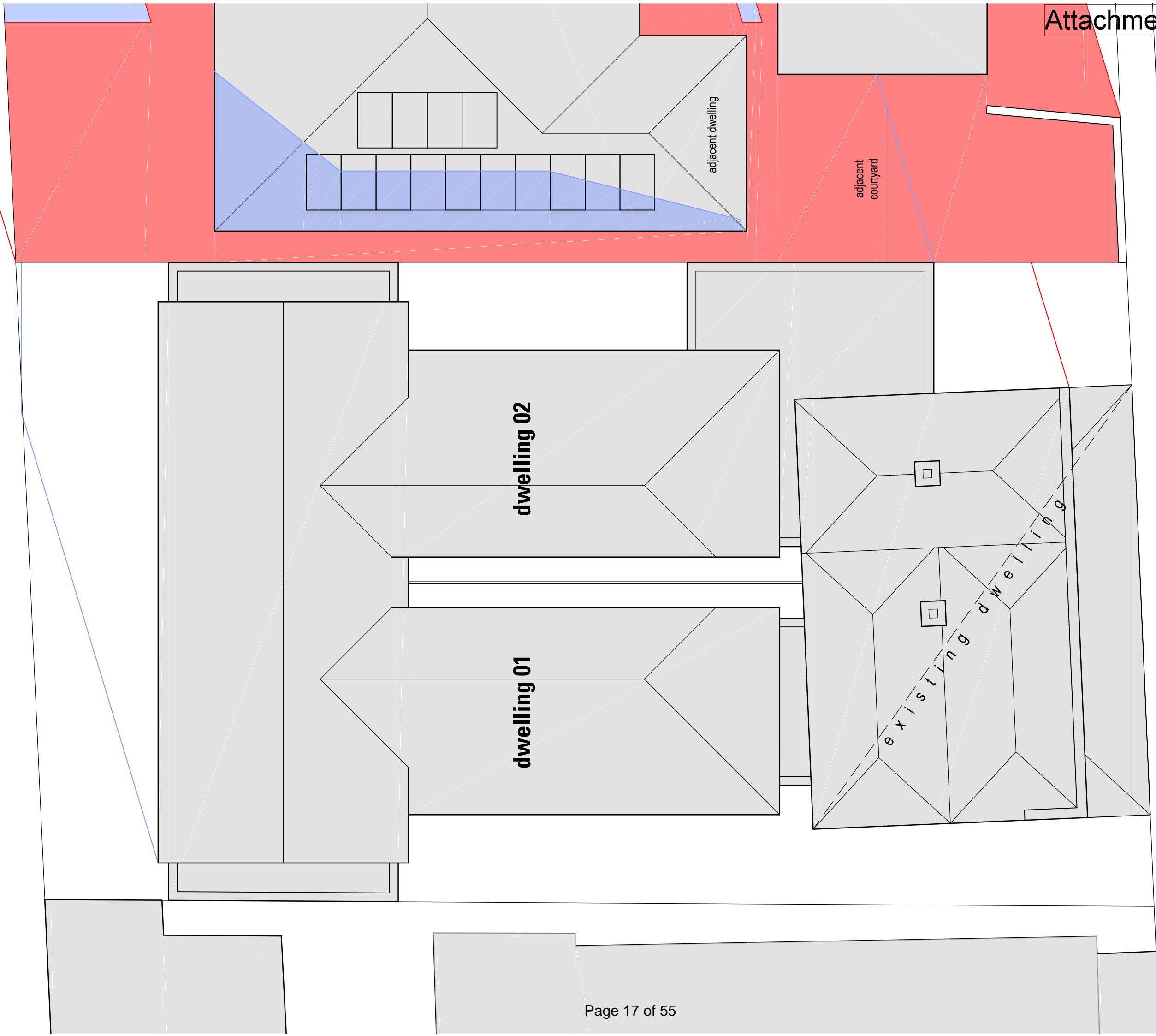
SHADOW DIAGRAM 21 JUNE 12.00pm

1:100 AT A3 0 0.5 1 5m



PROPOSED DWELLINGS
33 ANN STREET STEPNEY

r e a r l a n e



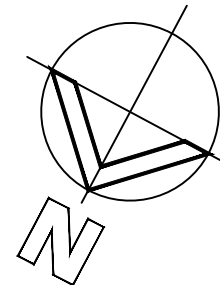
Attachment 1

a n n s t r e e t

SHADOW DIAGRAM 21 JUNE 3.00pm

1:100 AT A3

0 0.5 1 5m



PROPOSED DWELLINGS

33 ANN STREET STEPNEY

- existing shadow on the ground
- cast by current development
- additional shadow cast by proposed development

FOR PLANNING
APPROVAL ONLY

NOTE:
BUILDER TO CONFIRM THERE IS
ADEQUATE FALL TO STORMWATER
PRIOR TO COMMENCING EARTHWORKS.

NOTE:
ANY ENGINEERING OR DESIGN
DISCREPANCY ON SITE SHOULD BE
REPORTED TO THIS OFFICE PRIOR
TO COMMENCEMENT OF WORK.

NOTE:
RW INDICATED NEW SLEEPER
RETAINING WALL

(EXACT HEIGHTS TO BE CONFIRMED
ON SITE, IF HEIGHTS EXCEED WHAT
IS SHOWN CONTACT THIS OFFICE)

(WHERE EXISTING RETAINING WALL
IS UNDERMINED OR EXCEEDED
REPLACE WITH NEW RETAINING
WALL)

LINDAS LANE

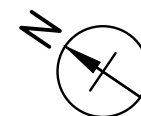
NOTE:
PIPES TO BE MINIMUM 300mm CLEAR
SPACING APART WHEN PENETRATING
FOOTING (SPACING TO BE MEASURED
FROM OUTSIDE OF PIPE)

450x450 BOUNDARY SUMP WITH
SILT TRAP 200 BELOW INVERT
LEVEL OF SUMP (TYPICAL)
DISCHARGE TO STREET WT
AS PER COUNCIL'S
REGULATIONS (TYPICAL)

NOTE:
WHERE STORMWATER PIPES PASS BENEATH
DRIVEWAY PROVIDE MIN. 100mmØ SEWER
GRADE PIPE (U.N.O.). (WHERE PIPE IS TO BE
SUBJECTED TO VEHICULAR LOADING 300mm
MIN. COVER IS REQUIRED, OR ENCASE PIPE
IN 100mm THICK CONCRETE.)

SITE & DRAINAGE PLAN

SCALE 1:200



NEW CROSSOVER TO BE
IN ACCORDANCE WITH
COUNCIL REQUIREMENTS
(TYPICAL)

3000L RETENTION(2000L)/DETENTION(1000L) RW TANK
WITH OVERFLOW (O/F) AT TOP & A 20mm SLOW
RELEASE OUTLET AT THE BOTTOM OF THE DETENTION
COMPONENT OF THE TANK CONNECTED TO THE U/G
STORMWATER SYSTEM & DISCHARGED TO THE STREET
WT. (PROVIDE A SEALED SYSTEM BETWEEN THE ROOF
& THE WATER TANK)(MINIMUM 60% OF ROOF WATER
PLUMBED TO TANK)(MULTIPLE INTERCONNECTED TANKS
CAN BE USED AS LONG AS TOTAL CAPACITY IS
ACHIEVED)(TYPICAL)

REFER TO THE CITY OF
NORWOOD PAYNEHAM AND
ST PETERS COUNCIL SPECIFIC
INFORMATION.

PROPERTY IN FLOOD ZONE
FFL CONFIRMED BY TONKIN

SITE NOTES

51. THIS IS AN ENGINEERING SURVEY PLAN AND SHOULD NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY.
52. THE REDUCED LEVELS SHOWN ON THIS PLAN ARE TO BE REGARDED AS INDICATIVE ONLY. THEIR SUITABILITY SHOULD BE ASSESSED ON SITE BY THE BUILDER BUT SHOULD NOT BE LOWERED WITHOUT FIRST CHECKING I.P. LEVELS.
53. THE OWNER SHOULD BE AWARE THAT IT MAY BE MORE PRACTICAL TO CONSTRUCT THE RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THE BUILDING.
54. THE OWNER SHALL PROVIDE ADEQUATE PROPPING/BRACING ETC. TO ANY EXISTING BOUNDARY STRUCTURE OR WALL ON OR NEAR THE BOUNDARIES IMMEDIATELY AFTER SITE EXCAVATION.
55. PROVIDE ADEQUATE PROTECTION OR COVER TO STORM WATER PIPES I.E. 150mm AND WHERE PIPE IS TO BE SUBJECTED TO VEHICULAR LOADING 300mm MIN. COVER IS REQUIRED, OR ENCASE PIPE IN 100mm THICK CONCRETE. IT IS RECOMMENDED TO USE GALVANIZED BOX SECTION BETWEEN BOUNDARY AND STREET WATERTABLE.
56. MAXIMUM LEVEL OF PATH AT FLOOD GULLY TO BE 165mm BELOW FINISHED FLOOR LEVEL.
57. ALL STORMWATER WORKS AND RETAINING WALLS ARE TO BE CONSTRUCTED BY THE OWNER UNLESS STATED OTHERWISE IN THE BUILDERS CONTRACT.
58. ALL BUILDINGS, STRUCTURES AND TREES AFFECTING OR AFFECTED BY PROPOSED BUILDING WORKS HAVE BEEN SHOWN ON THIS PLAN.
59. REMOVAL OF ALL EXCESS SPOIL FROM SITE CUT & FOOTING EXCAVATION IS THE OWNERS RESPONSIBILITY UNLESS NOTED OTHERWISE BY THE BUILDER.
510. THE DRAINAGE LAYOUTS SHOWN ON THIS PLAN ARE DIAGRAMATIC AND SHALL BE INSTALLED IN ACCORDANCE WITH SANITARY PLUMBING AND DRAINAGE DIRECTIONS - ALL APPLICABLE PARTS AMENDED. ENSURE SEWER TRENCH IS 900mm MIN. FROM FOOTINGS.
511. DATUM FOR LEVELS - TBM AS SHOWN.
512. LAGGING: IS REQUIRED, 20mm CLOSED CELL POLYETHYLENE.
513. FLEXIBLE SEWER & STORMWATER CONNECTIONS ARE REQUIRED.

NOTE:
RAINWATER TANK TO BE CONNECTED TO
ONE TOILET AND EITHER THE LAUNDRY
COLD WATER OUTLETS OR HOT WATER
SERVICE. (SITE GREATER THAN 200m²)

PAGE SIZE A3

SITE LEVEL
BY OTHERS

LEGEND	
100.00	EXISTING GROUND LEVEL
100.00	DESIGN LEVEL
DP	DOWNPIPE
IP	STORMWATER INSPECTION POINT
—	STORMWATER PIPE 90° UPVC U.N.O. (MIN FALL 1:200)
—	CONCRETE SUMP 450SQ CLASS D WITH MS GRATED COVER U.N.O.
—	NEW BITUMEN PAVING
—	EXISTING EMBANKMENT/BATTER
—	EMBANKMENT/BATTER (GRADE BANKS 1:2 MAX)
—	SPOON DRAIN (MIN FALL 1:200)
>>>	UNLINED OPEN DRAIN (MIN FALL 1:100)
---	SEWER PIPE (MIN FALL 1:50)
—	GRATED TRENCH DRAIN (MIN FALL 1:200)
—	KERB
—	KERB & GUTTER
⊗	90° GRATED SURFACE S/W SUMP
FFL	FINISHED FLOOR LEVEL
BL	BENCH LEVEL
FL	FINISHED LEVEL
IL	INVERT LEVEL

AMENDMENTS

ZAFIRIS & ASSOCIATES PTY. LTD.
CONSULTING CIVIL & STRUCTURAL ENGINEERS
UNIT 7/467 FULLARTON ROAD, HIGHGATE S.A. 5063
Ph:(08) 8299 9908 email:admin@zafirisengineers.com.au

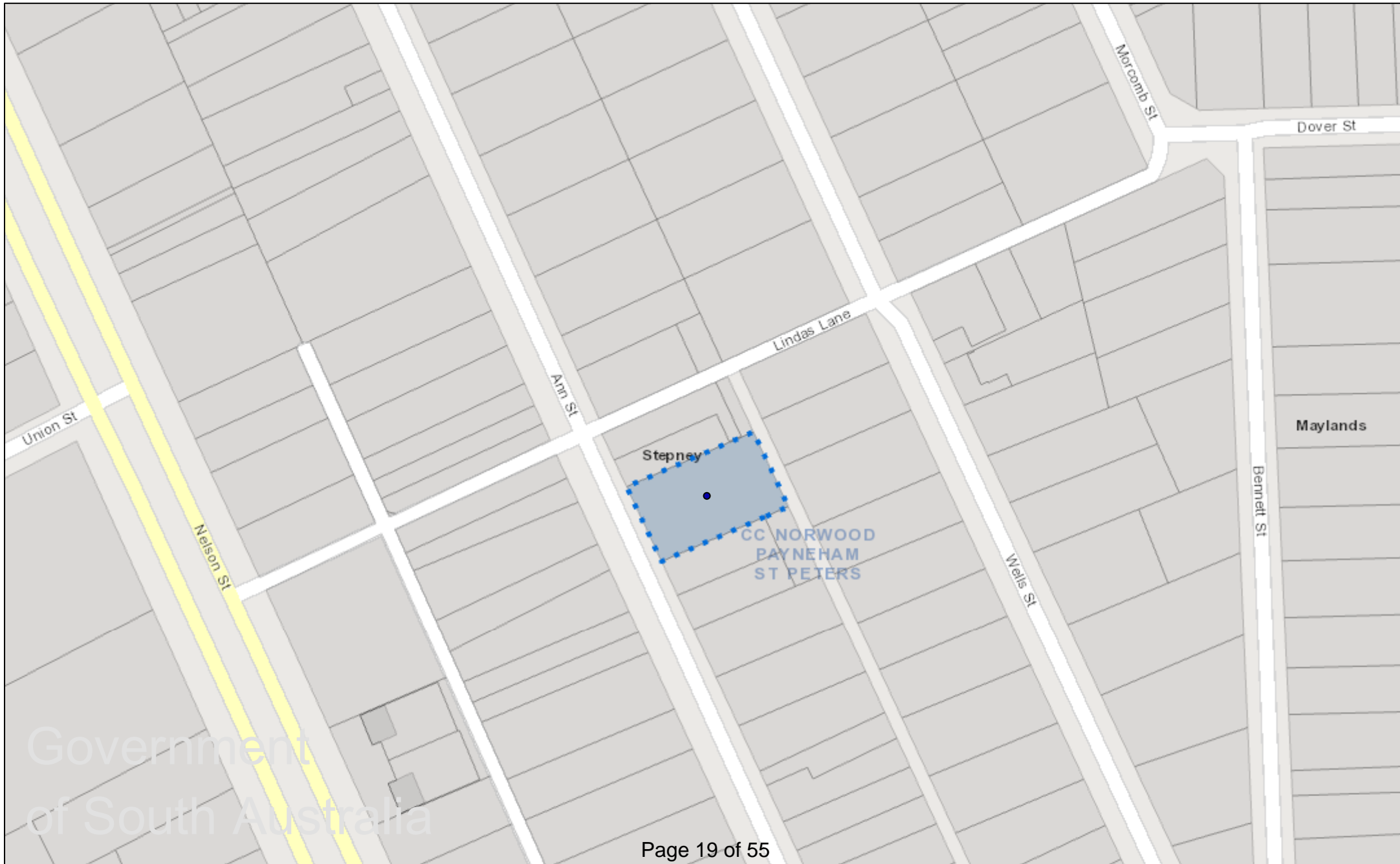
NEVER SCALE DRAWING, FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.
VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK.

SITE:
**PROPOSED ADDITIONS
FOR: PILIOURAS
AT: 33 ANN STREET,
STEPNEY**

TITLE:
SITE & DRAINAGE LAYOUT PLAN

DESIGN: PZ	CHECKED: TAZ	JOB NUMBER: 2250704
DRAWN: PZ	DATE: 25 JULY'25	SCALE: AS SHOWN
DRAWING NUMBER: CF5	ISSUE: -	

Subject Land Map



STEPNEY
Local Heritage Register**ATTACHED DWELLINGS**

Item No. S/5

LOCATION

Address	33a-33b Ann Street
Suburb	Stepney
Plan No	FP 17333
Allotment No	364
CT	Volume: 5294 Folio: 348
Hundred	Adelaide

State Heritage Status	None
Other Assessments	St Peters Heritage Survey

Map No LHR/S



9083/6

DESCRIPTION

An unusual pair of attached dwellings, comprising a single fronted cottage and a symmetrical cottage with separate hipped, corrugated iron roofs, joined across the front by a continuous parapeted wall, and steeply pitched concave verandah. The building masonry is now completely rendered.

HISTORY

These humble cottages were probably constructed very early in the settlement of Stepney but are unlikely to predate the 1850's.

STATEMENT OF HERITAGE VALUE

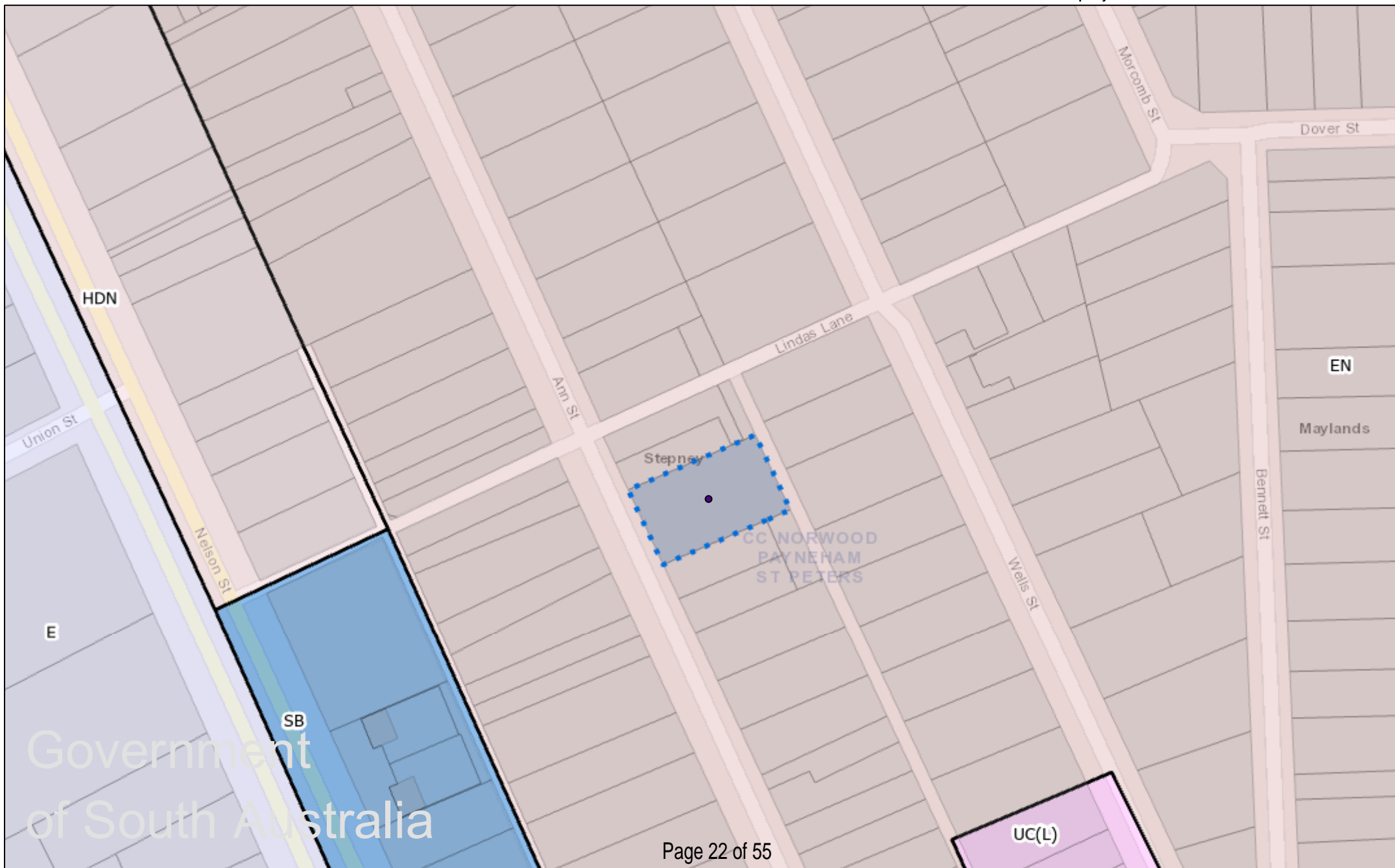
An important example of humble rental accommodation from the earliest period of Stepney's development as a "dormitory" town for craftsmen and tradespersons.

RELEVANT CRITERIA

- (b) it displays historical, economic and social themes that are of importance to the local area,
- (c) it represents ways of life that are characteristic of the local area, and
- (d) it displays design characteristics of significance to the local area.

REFERENCES

St Peters Heritage Survey, 1984-85, prepared by Danvers Architects.



Government
of South Australia

Historic Area Overlay Map





Application Summary

Application ID	25002154
Proposal	Two-storey alterations and additions to existing residential flat building containing two dwellings (Local Heritage Place), including internal demolition, restoration works, and associated timber picket front fence and replacement side fencing
Location	33A -33B ANN ST STEPNEY SA 5069

Representations

Representor 1 - Mat Head

Name	Mat Head
Address	
Submission Date	12/11/2025 08:43 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I support the development with some concerns

Reasons

We support the development proposal as it will provide additional housing close to the city and will restore the currently dilapidated existing dwellings and ensure their preservation. We are concerned that the existing plan for Dwelling 2 includes a large south facing upstairs bedroom window that overlooks the back garden of our property at 22 Wells Street. This is a private and personal space that is not currently overlooked by neighbours. As such, we believe that planning consent should be refused based on the current proposal. We ask that the existing plan be changed to prevent overlooking in order to preserve our privacy, e.g repositioning of this window to face Ann s St (dormer style) or installation of external angled louvres. Thank you for considering our concerns Mat Head and Mary O'Bryan

Attached Documents

Representor 2 - Fran E

Name	Fran E
Address	
Submission Date	29/10/2025 12:15 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development
Reasons Although glad they are keeping the heritage property, removing all the internal walls and character inside the home, seems a bit unnecessary. Maintaining heritage properties, should also include maintaining the inside of them. Additionally, I do not support the removal of 3 large trees, only to be replaced with 2 small trees. Better consideration of tree canopy loss is vital.	

Attached Documents

Representor 3 - Brendan Grigg

Name	Brendan Grigg
Address	
Submission Date	02/11/2025 10:21 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development
Reasons It seems that there are areas where the proposal does not meet the performance criteria but the shortfalls are minor and justified in the circumstances. Overall, the site has been derelict for many years to the detriment of the street and, if nothing is done, to that of the heritage-listed site itself. This proposal will fix that. It warrants approval.	

Attached Documents

Representor 4 - Henry McGregor

Name	Henry McGregor
Address	
Submission Date	06/11/2025 10:07 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons I do not agree with the 2 story development. The current zoning does not support 2 story houses being built. This sets a precedent for other neighbours renovating houses to build upward for a second story too, which I don't agree with. The development includes garages at the rear (ie 4 cars) entering into the laneway between Wells and Ann Street. The additional traffic in this laneway will be significant and the laneway should be accordingly sealed or paved.	

Attached Documents

Representor 5 - Kate Manuel

Name	Kate Manuel
Address	
Submission Date	10/11/2025 06:31 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons Having obscured windows only up to 1500mm on the upper floor still allows potential overlooking of my backyard/outdoor entertainment area.	

Attached Documents

Ref: 20ADL-0084

**URPS**

Adelaide
27 Halifax Street
Adelaide SA 5000
08 8333 7999

urps.com.au

ADL | MEL | PER

2 December 2025

Kieran Fairbrother
Senior Development Officer - Planning
City of Norwood, Payneham & St Peters

Submitted via PlanSA portal

Dear Kieran,

Response to Representations – DA 25002154 at 33A & 33B Ann St, Stepney

Introduction

URPS continues act for the proponent of the application referred to above. This letter is a written response to the representations received during public notice of this application.

Background

One of URPS' core values is "turning towards the community". This means that we undertook voluntary community engagement with several neighbours about this development proposal. A summary of this voluntary community engagement process is contained in Appendix A.

Summary of Representations

Five representations were received during public notification as follows:

No.	Representor	Representor's Address	Position on the Application	Wishes to be heard
1	Mat Head		Supports with some concerns	Yes
2	Fran E		Opposes	No
3	Brendan Grigg		Supports	No
4	Henry McGregor		Opposes	Yes
5	Kate Manuel		Supports with some concerns	No

We acknowledge the Kaurna People as the Traditional Custodians of the land on which we work and pay respect to Elders past, present and emerging.

https://urpsau.sharepoint.com/sites/SynergyProjects/Shared Documents/SA Synergy Projects/20ADL/20ADL-0084 33A & B Ann Street, Stepney/Development Application/Application Lodged in 2025/251124_C2_V1_Response to Representations.docx



Those in support of the application consider the positives to be:

- Additional housing close to the city.
- Restoration/preservation of a dilapidated heritage place.
- Minor Shortfalls against the Code are justified in the circumstances.

Issues of concern raised by some representors are:

- Two-storey development.
- Potential for overlooking.
- Demolition of internal walls.
- Removal of 3 trees.
- Additional traffic in the laneway which should be sealed.

I have responded to each of these concerns separately below.

Two Storey Development

Performance Outcome 4.1 of the Established Neighbourhood Zone states:

PO 4.1 ***Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.***

DPF 4.1 ***Building height (excluding garages, carports and outbuildings) is no greater than... Maximum building height is 1 level... (underlining added)***

The proposed dwellings are 1 level along the street frontage and 2 levels towards the rear of the site. The rear additions respond to the levels change between Ann Street and the rear laneway. This means that the garages and rooms above sit higher than the rest of the dwellings.

Importantly, the proposed dwellings have a single storey appearance when viewed from Ann Street so that they complement the height of nearby dwellings as anticipated by PO 4.1. Sightlines are shown on the North Elevation confirming this.

The second building level will not be visible when viewing the dwellings front-on from the eastern side of Ann Street. Only a small part of the roof of the second building level is visible from the western side of Ann Street.

There are also examples of similar two-storey dwellings in the locality including the adjoining semi-detached dwellings to the north at 35a-35b Ann Street and 44 Ann Street (see images below).



Photo 1: Adjoining two-storey semi-detached dwellings at 35a-35b Ann Street.



Photo 2: Nearby two-storey detached dwelling at 44 Ann Street.

Potential for overlooking.

The following provisions in the Design in Urban Areas section of the Code relate to overlooking from upper-level windows of low-rise buildings such as those proposed:

PO 10.1 *Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.*

DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:

- (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm***
- (b) have sill heights greater than or equal to 1.5m above finished floor level***
- (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level. (underlining added)***

The proposed upper-level windows facing side and rear boundaries contain fixed obscure glazing to 1.5m above finished floor level. This satisfies the Code provisions quoted above and ensures that there is no unreasonable overlooking of neighbouring properties.

Demolition of Internal Walls

Some of the internal walls of the Local Heritage Place are proposed for demolition to enable a more functional and habitable floor plan for each of the dwellings.

The following provision in the Local Heritage Place Overlay relate to partial demolition:

- PO 6.1 Local Heritage Places are not demolished, destroyed or removed in total or in part unless:***
- (a) the portion of the Local Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value or***
 - (b) the structural integrity or condition of the Local Heritage Place represents an unacceptable risk to public or private safety and is irredeemably beyond repair.***
- PO 6.2 The demolition, destruction or removal of a building, portion of a building or other feature or attribute is appropriate where it does not contribute to the heritage values of the Local Heritage Place. (underlining added)***

Part 11 – Heritage Places in the Planning and Design Code lists 33a Ann Street and 33b Ann Street as Local Heritage Places. The “Description and/or Extent Listed Place” in this table for this property is described as the “whole of exterior including front fence”. This intimates that the interior is not within the extend of the heritage listing. Therefore, the demolition of some internal walls satisfies PO 6.1(a) quoted above.

I also contend that the internal walls of these dwelling do not significantly contribute to the heritage values of the Local Heritage Place. This means that their demolition satisfies PO 6.2 quoted above.

Removal of Trees

None of the existing trees on the site are Regulated Trees. These trees have no statutory protection. They are small and poorly maintained.

The Design in Urban Areas section of the Code includes the following provision relating to trees:



PO 3.1 *Soft landscaping and tree planting are incorporated to:*

- (a) *minimise heat absorption and reflection***
- (b) *maximise shade and shelter***
- (c) *maximise stormwater infiltration***
- (d) *enhance the appearance of land and streetscapes.* (underlining added)**

The siting and design of the existing historic dwelling close to the Ann Street boundary means that there is limited space for a tree at the front of the site. The desire to include an open, off-street, parking spaces towards the front corner of this site in overparked Ann Street further limits space for a tree at the front of the site.

The proposed development includes two new small trees, one to be planted in the courtyard of each dwelling. I contend that this adequately satisfies PO 3.1 quoted above.

Additional Traffic in the Laneway

The garages of both dwellings are accessed via the rear Council-controlled laneway. A representor has called for sealing of the laneway given the additional traffic.

I consider that the unsealed laneway can accommodate the relatively low additional traffic volume.

The proponent supports any future initiative by Council to seal this laneway. This is not determinative, however, for this development application.

Conclusion

I contend that the concerns of the single objector have been appropriately summarised and addressed in this letter.

The proposed development satisfies the relevant provisions of the Planning & Design Code and warrant Planning Consent.

I understand that you will be able to determine this application using delegated authority given that no representors have requested to be heard. I look forward to your support of the proposal.

Please contact me on 0400 730 412 if you have any questions in the meantime.

Yours sincerely

Marcus Rolfe
Director



Appendix A

Voluntary Community Engagement Report

20ADL-0084
12 NOVEMBER 2025

Engagement Summary

33A & 33B Ann Street Stepney

P. PILIOURAS



Engagement Summary

12 November 2025

Lead consultant	URPS 27 Halifax Street Adelaide SA 5000 (08) 8333 7999 urps.com.au
Prepared for	P Piliouras
Consultant Project Manager	Anna Deller-Coombs, Associate Director adellercoombs@urps.com.au
URPS Ref	20ADL-0084

Document history and status

Revision	Date	Author	Reviewed	Details
V1	12 November 2025	A. Deller-Coombs	E. Williams	Draft report for issue to client

We acknowledge the Kaurna People as the Traditional Custodians of the land on which we work and pay respect to their Elders past, present and emerging.

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Executive Summary

During November 2025, URPS undertook voluntary engagement with community on the proposal for a new residential development at 33A and 33B Ann Street, Stepney.

This engagement was undertaken on behalf of the applicant, Peter Piliouras to ensure the community were well informed and could ask questions about the proposed development. It was undertaken during the statutory public notification period on the development application.

How we engaged

Engagement was undertaken via letterbox distribution of a fact sheet to 60 neighbours in proximity to the development site. The fact sheet encouraged people to contact URPS should they have any questions about the proposed development.

Who we engaged with

URPS doorknocked 22 homes near the proposed development. No additional enquiries were received by phone or email during the public notification period.

What we heard

Overall sentiment toward the proposed development was highly supportive. Neighbours were eager to see the site improved from its current derelict condition and were comfortable with the design proposed.

1. Background

It is proposed to undertake alterations and additions to two existing homes at 33A and 33B Ann Street.

This locally heritage listed property has been carefully designed in consultation with heritage architect and Council. The design retains and restores the heritage façade, look and features of the homes. It adds on a second storey component to the rear to be a size and layout that meets the needs of modern families.

Overlooking and overshadowing have been carefully considered, and the design actively mitigates these impacts through obscure glass and placement of windows.

Both homes have more than the minimum required open space and their own off-street parking.

The application is being assessed by the City of Norwood, Payneham and St Peters and was publicly notified from 29 October – 14 November 2025.

2. How We Engaged

The objective of this engagement was to support the statutory public notification on the development application being undertaken by the City of Norwood, Payneham and St Peters. The engagement provided clear and easy to understand communication materials and provided an opportunity to meet directly with neighbours to hear their concerns, better explain the proposal and encourage them to lodge representations of support.

The following engagement methods were used to communicate with neighbours about the proposal:

- Fact sheet

A 2-page fact sheet was distributed to 60 local residences via letterbox drop on 1 November 2025. This distribution area is approximately the same as that undertaken by Council (60m radius around the development site).

The fact sheet addressed a range of features of the proposed development and provided contact details for further information.

Refer Appendix A for a copy of the fact sheet.

- Phone and Email Enquiries

URPS engagement staff were available to speak with neighbours on the phone about the proposal and/or respond by email via engage@urps.com.au. We also offered to meet with interested neighbours to discuss the proposal.

- Door knocking

Approximately 22 homes on Ann Street were door knocked. This sought to capture views from the most directly interested and impacted neighbours.

These methods of sharing information and receiving enquiries were accessible and easy to use, which supported inclusivity and ensured direct reach. They also promoted transparency and helped encourage informed community feedback throughout the development process.

3. Feedback Received

This report summarises feedback received from our engagement activities.

In total, 22 people provided their feedback to URPS via direct interactions during door knocking. No phone or email enquiries were received.

3.1 Door knocking feedback

Feedback received during doorknocking was unanimously supportive. Many indicated that they would put forward a representation of support.

Some neighbours provided additional commentary, summarised below. A register of all feedback is provided in Appendix B.

Keen to see site Improved

The most common comment from neighbours was a keenness to see the site improved. Several neighbours commented that the current site is unsightly and has been for some time. Others commented that there have been squatters over the years, as well as pests and weeds.

Support for design

Many neighbours specifically expressed their support for the design. Some said that they were pleased that the heritage façade was being retained. Others commented that the second storey component was reasonable and acknowledged it wouldn't be particularly visible from the street.

Several neighbours made comparisons to the three storey townhouses at the southern end of Ann Street and expressed a keenness for the design and materials to be a higher quality than those dwellings.

Overshadowing

Two neighbours enquired about overshadowing to solar panels. Overshadowing diagrams (winter solstice) were clearly explained and both neighbours were comfortable with the level of impact – including the neighbour to the immediate south (31A Ann Street).

Overlooking

One neighbour enquired about overlooking and noted concern that despite the obscure glass that it would still cause overlooking into her yard.

Parking

Some neighbours enquired about on street parking from residents as well as workers during construction. It was explained that the homes have two and three carparks respectively (rear loaded). Comments regarding concerns about construction vehicles were noted.

4. Summary of Key Findings

The engagement sought to provide a well-informed central point of contact for the community to ask any questions or seek clarification on the proposed development, as well as to encourage the submission of representations of support.

Doorknocking to neighbours immediately either side and across the road from the proposed development indicated strong support for the proposal.

Appendix A Engagement Materials

- Fact Sheet
- Letterbox Distribution Map

Fact sheet

Proposed Development at 33A and 33B Ann Street, Stepney

Community Fact Sheet



You may have received a letter from the Norwood Payneham and St Peters Council about a proposed development in your neighbourhood that is currently on public notice.

We have prepared this fact sheet to explain the proposal simply. It also provides information on how you can get in touch if you have any questions.



Attachment 6

About 33 Ann Street

This heritage listed property has been in the same family for three generations. All three generations have called this place home and are deeply attached to the area.

We know that this property has been derelict for some years. We are excited to breathe new life into the property and improve the amenity of the whole street.

Design excellence and celebrating character

We have worked for more than five years to perfect the design you see today. We have consulted closely with heritage architects and the Council to create a design that:

- › Keeps the heritage façade, look and features
- › Is a size and layout that meets the needs of modern families
- › Isn't too big for the character of the area, and that doesn't overlook neighbours
- › Uses colours and materials that suit the character of the area
- › Makes sure each home has more than the minimum required private open space
- › Includes off-street parking for both homes (2 and 3 parks each).

Respecting our neighbours

Building Height

- › The second storey part of the homes is well set back from the street.

Overlooking and Overshadowing

- › Windows facing houses to each side use obscured glass to avoid overlooking.
- › Overshadowing of neighbours is limited.

What's Next?

The development application is currently on public notification. During this time, Council is inviting neighbours and other interested parties to provide representations, that is, feedback on the proposed development.

You can see the plans online by clicking on the QR code on the sign outside 33A and 33B Ann Street.

We would love for neighbours to provide representations of support too. Public notification closes on 14 November 2025.

Want to Know More?

We welcome your questions and feedback. Our planning consultants are available to talk with you about any questions you have. We are happy to make a time to discuss that suits you.

Anna at URPS
(08) 8333 7999
engage@urps.com.au

Letterbox Distribution Map



Appendix B

- Door knocking register

Door knocking register

					Sentiment			Comments
				Door knocked	Supportive	Concerns	Not supportive	
14	ANN	ST	STEPNEY	Y	Y			Has already put in a representation of support
16	ANN	ST	STEPNEY	Y	Y			Keen to see good quality building - no issues
18	ANN	ST	STEPNEY	N - do not knock sign				N/A
20	ANN	ST	STEPNEY	N - do not knock sign				N/A
22A	ANN	ST	STEPNEY	Y	Y			Supportive - keen to see derelict building improved
22	ANN	ST	STEPNEY	Y	Y			Supportive
24	ANN	ST	STEPNEY	Y				Not home
26	ANN	ST	STEPNEY	Y	Y			Nice to see it done up. Would like to see construction vehicles on street well managed.
28	ANN	ST	STEPNEY	Y				Not home
30	ANN	ST	STEPNEY	Y	Y			Supportive - no issues
32	ANN	ST	STEPNEY	Y				Not home
34	ANN	ST	STEPNEY	Y	Y			Supportive - good to see site developed
36	ANN	ST	STEPNEY	Y				Not home
38	ANN	ST	STEPNEY	Y				Not home
40	ANN	ST	STEPNEY	Y				Not home
42	ANN	ST	STEPNEY	Y	Y			Supportive
19-21	ANN	ST	STEPNEY	Y	Y			Supportive
23	ANN	ST	STEPNEY	N - not accessible				N/A

25	ANN	ST	STEPNEY	N - not accessible				N/A
27-29	ANN	ST	STEPNEY	Y				Not home
31A	ANN	ST	STEPNEY	Y				Supportive - happy to see trees removed. Comfortable with solar impact
31B	ANN	ST	STEPNEY	Y				Very supportive
35A	ANN	ST	STEPNEY	Y	Y			
35B	ANN	ST	STEPNEY	Y	Y	Y		Supportive but with some concerns - concerned 1500mm obscure glass will still be able to see into her yard.
39	ANN	ST	STEPNEY	Y				Not home
41	ANN	ST	STEPNEY	N - not accessible				N/A
43	ANN	ST	STEPNEY	Y	Y			Supportive

Adelaide

27 Halifax Street
Enter via Symonds Pl
Adelaide, SA 5000
(08) 8333 7999

Melbourne

Level 3, 107 Elizabeth Street
Melbourne, VIC 3001
(03) 8593 9650

Perth

Level 17, 1 Spring Street,
Perth WA 6000
(08) 6285 3177

HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **33A-33B Ann Street Stepney**
 APPLICATION NUMBER: **25002154**
 DATE: 11 February 2025
 PROPOSAL: Two level alterations and additions
 HERITAGE STATUS: LOCAL HERITAGE PLACE
 HERITAGE ADVISOR: David Brown, BB Architects
 PLANNER: Kieran Fairbrother



City of
Norwood
Payneham
& St Peters

ADVICE SOUGHT

I met with the owners on site in 2013 to discuss potential development options. I have since met with the applicants several times to review subsequent designs. The lodged design is what was discussed at our last meeting.



DESCRIPTION

The building is a Local Heritage Place in the Established Neighbourhood Zone, within the Stepney Historic Area overlay (NPSP19). The building is a very early maisonette constructed in two stages with a parapet front wall and split pane windows suggesting an 1850/1860 construction date. The early construction date, humble proportions, and mostly original condition make this a very important building in the streetscape. The heritage listing includes the front fence and the whole of the building.

PROPOSAL

The proposal is for significant alterations and two level additions to the Local Heritage Places with car parking at the rear. This reworked design now is for just two dwellings on the site, with two levels set back on the site.

COMMENTS

The site is a difficult one to develop as the cottage at the front is so low, so anything will be visible behind it. Add to that the flooding, and the slope on the land and the rear addition is not surprisingly going to be visible from the street.

GENERAL COMMENTS ON THE ADDITION

The proposed addition now has a combination of stepped hipped and gabled roof forms with the upper level hidden in the roof of the rear portion of the addition. The roof forms of the addition will be visible from the street, but as they will all present as roof elements, not high walls (apart from the side gables), this is probably an acceptable outcome. The walls are generally painted render to match the cottage.

There is some concern with the extent of internal demolition to the existing buildings, as virtually all the internal walls are being removed. Ideally a condition or reserved matter should be included to request specific information from a structural engineer as to how the walls will be stabilised. The walls are likely a combination of brick and pisé construction, so will not be easy to stabilise. A better outcome might be to leave ribs of internal walls to stabilise the remaining external walls.

Zincalume is not an appropriate material in a historic area. Galvanised or suitable colours of prepainted steel roofing should be considered. This is the same for the side fencing.

RESTORATION WORKS

There are no works shown to the Local Heritage Place beyond “make good” and reroofing. Currently the building is quite dilapidated and needs some significant work to make it habitable. More detailed information is needed on the proposed restoration works.

- Works to masonry walls – scope, materials, methods.
- Works to roof. Material, colour, details of gutters, downpipes, etc.
- Works to doors and windows. Scope.
- Works to front verandah, floor, posts and roof. Scope, materials, detail drawings.
- Works to front fence. Scope, materials, detail drawings.

Drawings indicating the existing floor plans and elevations of the building should be provided as a record of the current condition, and to determine if the extent of demolition is appropriate.

CONCLUSION

Generally the proposed new works are an acceptable outcome in this context in terms of their impact on the setting and heritage value of the Local Heritage Place. As the additions are to the rear, designed in sympathetic forms and materials, there is minimal detrimental impact to the Local Heritage Place, and these additions are easily removed in the future without permanent impact on the setting and fabric.

More information is needed on the works to the old dwelling.

Josef Casilla

From: Ken Schalk
Sent: Thursday, 2 September 2021 2:47 PM
To: Josef Casilla
Subject: RE: DA for 33A - 33B Ann Street, Stepney

Josef

I have reviewed plans showing the proposed additions to the residences at the above site.

The 1% AEP flood levels on Ann Street in front of the proposed development are as follows:

Dwelling 1 : 50.0 mAHD
Dwelling 2 : 50.03 mAHD
Dwelling 3: 50.07 mAHD

These flood levels should be used to set floor levels for the proposed additions. I note that the PDC refers to 300 mm freeboard, but consider that given relatively shallow depths of flooding in Ann Street a Lower freeboard amount of 150 mm would be adequate to provide a 1% AEP level of protection to the new dwellings. This would lead to the following minimum finished floor levels:

Dwelling 1 : 50.15 mAHD
Dwelling 2 : 50.18 mAHD
Dwelling 3: 50.22 mAHD

While not shown on the mapping, the laneway at the rear of the development is also likely to carry runoff from residences facing Wells Street. Runoff from these dwelling would likely result in a flow depth of approximately 100 - 150 mm along the rear laneway in a 100 year event. Working to the same freeboard, proposed floor levels for the garage to Dwelling 1 appears adequate, but garage for Dwelling 2 should be lifted to at least 51.0 mAHD and Dwelling 3 should be lifted to at least 51.1 mAHD.

Regards

Ken Schalk
Principal - Hydrology & Hydraulics



Tonkin
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Adelaide SA 5000
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Direct +61 8 8132 7538

tonkin.com.au

**5.2 DEVELOPMENT NUMBER ID 25024758 - URBAN HABITATS - 10 THIRD AVENUE
ST PETERS SA 5069**

DEVELOPMENT NO.:	25024758
APPLICANT:	Urban Habitats
ADDRESS:	10 THIRD AVE ST PETERS SA 5069
NATURE OF DEVELOPMENT:	Construction of a two-storey dwelling addition including partial demolition of the existing building, extension of existing carport, and construction of an outbuilding (garage)
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Historic Area • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 18m) • Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm) • Maximum Building Height (Levels) (Maximum building height is 1 level) • Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	20 Aug 2025
RELEVANT AUTHORITY:	Assessment panel/Assessment manager at City of Norwood, Payneham and St. Peters
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2025.15 14/08/2025
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Edmund Feary Senior Urban Planner
REFERRALS STATUTORY:	None
REFERRALS NON-STATUTORY:	City Arborist, Matthew Cole Heritage Advisor, David Brown

CONTENTS:

APPENDIX 1: Relevant P&D Code Policies	ATTACHMENT 5: Representations
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DETAILED DESCRIPTION OF PROPOSAL:

The proposal intends to remove much of a later addition at the rear of the Representative Building, with some further demolition of a later addition to the side of the building, and removal of a carport and deck.

A new addition to the rear is proposed to be constructed. This is two storeys in form, with gable ends to one side and a hipped roof perpendicular to this gabled section. A new deck would be constructed opening out to the backyard. A new garage would also be built in the northern corner of the site.

BACKGROUND:

The application was submitted on the 13th of August 2025, being formally lodged on the 20th of August. Following concerns raised by the administration on the 9th of September 2025, the application was placed “on hold” while negotiations occurred. Following the submission and review of amended plans, public notification took place from the 5th of November until the 25th of November 2025.

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 10 THIRD AV ST PETERS SA 5069

Title ref.: CT
5705/489

Plan Parcel: D1142
AL103

Council: THE CITY OF NORWOOD PAYNEHAM AND
ST PETERS

Shape: Regular

Frontage Width: 18.29m

Area: 875m²

Topography: Relatively flat, with a slight fall towards the rear

Existing Structures: Single-storey detached dwelling (Representative Building) with later addition, deck, carport, and masonry and metal infill front fence

Existing Vegetation: Well-vegetated with a variety of trees and shrubs, including two significant trees

Locality

The locality for the development is shown in **Attachment 2** and is considered to extend:

- 70m northeast along Third Avenue to the intersection with St Peters Street (encompassing buildings on both sides of the street);
- 160m southwest along Third Avenue to the intersection with Harrow Road (encompassing buildings on both sides of the street); and
- 50m to the northwest to include sites which have a primary frontage to Fourth Avenue, but “back on” on sites which are on the northwestern side of Third Avenue (such as the subject site).

The locality is oriented with avenues running northeast-southwest, to roughly match the course of the River Torrens / Karrawirra Parri.

The locality is part of “The Avenues” Historic Area (NPSP 20), which is characterised by dwellings built primarily prior to around 1910, with some further development in the interwar period. These are mainly villas and double fronted cottages, constructed from stone, with some bungalows dating from that interwar period.

The locality is almost entirely residential- the sole exception being the Lithuanian Caritas site, immediately to the southwest of the subject site. This site, used as a community centre, contains a prominent, two-storey Local Heritage Place. The car park for the site is on the northeastern side, adjacent the subject site.

While the locality is predominantly single storey in character, there are a number of two-storey buildings, including the aforementioned Local Heritage Place, another dwelling addition at the rear of 14 Third Avenue, and an interwar dwelling at 29 Harrow Road which includes dormer windows for the upper floor, but a later addition of a two-storey garage with living space above, on the street boundary with Third Avenue.

The area has a very high level of tree canopy, particularly street trees. It exhibits an overall very high degree of residential amenity.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 - Demolition
 - Partial demolition of a building or structure: Code Assessed - Performance Assessed
 - Carport: Code Assessed - Performance Assessed
 - Carport or garage
 - Dwelling alteration or addition
 - Outbuilding (Carport or garage): Code Assessed - Performance Assessed
 - Dwelling addition: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 - Code Assessed - Performance Assessed
- **REASON**
 - P&D Code; Historic Area Overlay- no other pathway

PUBLIC NOTIFICATION

- **REASON**
 - Two storey development in an area with a single storey TNV
- **LIST OF REPRESENTATIONS**

Surname	First Name	Address	Position	Wishes to be heard?
Horton Pty Ltd			Opposed	Yes
Henry	Wayne		Supportive, with concerns	No

Horton Pty Ltd are the registered owner of 7-9 Fourth Ave, St Peters (which is a single property comprising two allotments). Their representation was submitted by Mr Garth Heynan, a registered Town Planner.

Mr Henry's residence is some 340m from the subject site and thus this representation is not shown on the Representation Map (**Attachment 4**)

- **SUMMARY**

The representations can be found in **Attachment 5**. The key issues raised by representors were:

 - Impact on neighbourhood character, primarily relating to the impact of the upper floor addition;
 - Overlooking and privacy; and
 - Light spill or reflection.

These issues are addressed by the applicant's Response to Representations in **Attachment 6** and will be further addressed in the Planning Assessment below.

AGENCY REFERRALS

None

INTERNAL REFERRALS

- Matthew Cole, City Arborist

Council's City Arborist provided advice in respect of the development's impact on the nearby significant trees. Based on the report provided from Arborman Tree Solutions, the City Arborist concurred that the potential for tree damaging activity is suitably mitigated.

His advice is as follows:

"I agree with the key findings of the Arborman report, which identifies that the proposed works are confined within the existing encroachment, no pruning of either tree is required to facilitate construction, and that the tree species is relatively tolerant of minor root disturbance.

The report suggests the use of irrigation, this recommendation is vague. Without detail, I do not believe it is necessary to condition irrigation at this stage. I am comfortable to disregard this point, noting that irrigation is likely to be installed as part of the landscape upgrade.

The report also specifies that if machinery access is required within the NRZ outside existing hard surfaces or other areas of encroachment, appropriate ground protection is to be installed in consultation with the Project Arborist to prevent root damage.

In addition, a Tree Protection Plan has been prepared, including a small fenced area to safeguard the base of the trees should heavy machinery be used within the NRZ during demolition or construction. I support these requirements and recommend they be conditioned.

Taking the above into consideration, and subject to implementation of these conditions, it is my opinion that the trees will withstand the relatively minor pressures associated with this development."

- David Brown, Heritage Advisor

Council's Heritage Advisor provided advice in respect of the impact of the development on the historic character of the area, with particular regard to the Representative Building on the site. He raised a series of concerns with the initial proposal, and the proposed design was amended in response to this.

An updated version of his advice, reflecting the changes made since lodgement, can be found in **Attachment 7**.

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Land Use

The proposed development is residential in nature, consistent with the existing land use and with Established Neighbourhood Zone (ENZ) PO 1.1 which envisages "predominantly residential development".

Building Height and Impact on Streetscape

The proposed dwelling addition is two-storeys, exceeding the single storey TNV expressed in ENZ DPF 4.1. The addition has a wall height of 6.3m, or 8.36m to the top of the ridge. This means that the wall height is 300mm above the ridge height of the original portion of the dwelling. Performance Outcome 4.1 states:

"Buildings contribute to the prevailing character of the neighbourhood and complements [sic] the height of nearby buildings."

To elaborate on this, Historic Area Overlay PO 2.2 states:

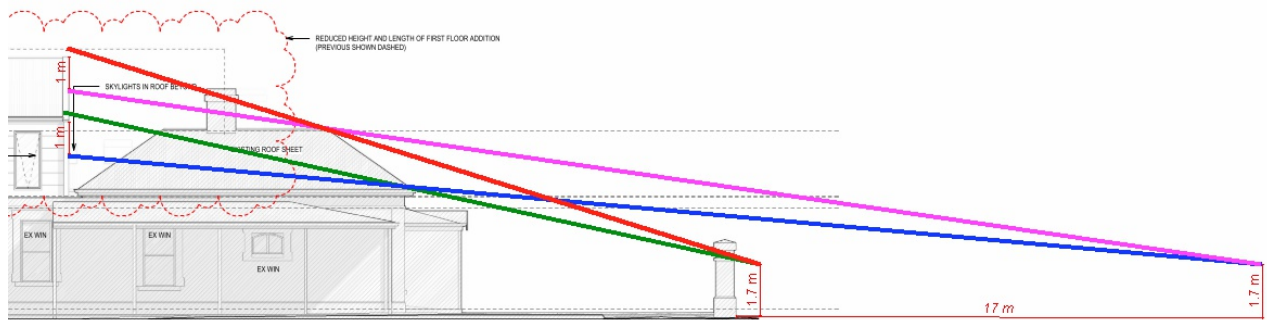
"Development is consistent with the prevailing building and wall heights in the historic area."

The Historic Area Statement, in the "Building Heights" section, states that the Historic Area is, "Predominantly single-storey, up to two storeys in some locations."

These policies clearly express a need to consider the context of the area when considering the appropriateness of a particular building height. The locality of this site includes three (3) two-storey buildings, one of which is very much outwardly two-storey in its appearance, which is on the immediately adjoining site, and another is only separated by one allotment. While it is clear that the locality is predominantly single-storey, there are few parts of this Historic Area where two-storey development is so prominent.

The upper floor is set back some 21.5m from the street boundary, behind the original part of the building. Nonetheless, as mentioned by one of the representors, the addition's walling would not be entirely obscured by the roof of the original building. This is in part due to the walls of the addition extending beyond the lines of the ridges, and because on the southwestern side of the addition is a gable end. The ridge of the gable is 600mm "inboard" of the pitching point of the original roof, mitigating its prominence somewhat.

The image below shows the approximate "view angles" from a pedestrian (with an eye height of 1.7m) from either side of Third Avenue, with an oblique view over the eave/guttering of the original dwelling, and over the ridge. This illustrates that from the near side of the street, there would be little visibility of the upper floor, only of the gable ended portion from an oblique view (such as along the driveway). From the opposite side however, approximately 1m of wall would be visible from an oblique view, and 1m of gable from directly in front.



The overall outcome is one where the upper floor would be visible from the street, mainly along the driveway, but it would not be visually prominent. This is prominence is reduced further by the context, with the outwardly two-storey Local Heritage Place to the southwest.

A representor suggests that the addition: *"will appear as a new and incongruous element relative to the existing dwelling and also within the streetscape. In effect the upper level will be distinctly different and one that confuses the presentation of and diminishes the value of the contribution made by the existing dwelling."*

While the gable end does increase the prominence of the upper floor somewhat, gable ends in and of themselves are relatively common in the Historic Area and the locality, being a part of the design of villas and bungalows (although this locality has a higher frequency of bay-window villas, rather than gabled villas). In the context of other nearby two-storey development, this is also not a new intrusion into the locality, and the addition is appropriately separated behind the main original dwelling.

Setbacks, Design & Appearance

Site Coverage

The overall building footprint on the site is 412m² or 47% of the total site area. This is within the 50% envisaged by ENZ DPF 3.1.

Setbacks and Impact on Neighbouring Properties

ENZ PO 8.1 states:

"Buildings are set back from side boundaries to provide:

- (a) separation between buildings in a way that complements the established character of the locality*
- (b) access to natural light and ventilation for neighbours."*

The external side walls at the ground floor level are all existing walls which are to be retained through the development. The upper floor side setbacks are not specifically dimensioned on any site plan, but based on measurements from the plan, are 3.35m from the northeastern boundary, and 4m from the southwestern boundary. ENZ DPF 8.1 would expect side setbacks of 2m for a wall of this height, so the proposal amply complies with this.

ENZ PO 9.1 states:

"Buildings are set back from rear boundaries to provide:

- (a) separation between buildings in a way that complements the established character of the locality*
- (b) access to natural light and ventilation for neighbours*
- (c) private open space*
- (d) space for landscaping and vegetation."*

The setback from the rear boundary is 18.8m, well beyond the 6m expected by ENZ DPF 9.1. By way of comparison to the Lithuanian Caritas building on the adjoining site, this is 6m further from the rear boundary than upper floor of that building.

The upper floor is oriented such that it will primarily be visible from the Caritas site. As this is a non-residential use, the adjoining area of the site is a car park, it is already a two-storey building, and there is screening vegetation (in the form of the significant tree to be retained), it is considered that the overall impact of this is generally limited.

The visual impact of the neighbour to the northeast is more substantive. However, the view from the primary private open space would be obscured both by the dwelling on that site and by vegetation (in the form of the significant tree to be retained). Views from the windows along the southwestern face of that building would be relatively limited, obscured by the boundary wall which is to be retained.

To the rear neighbour, while this is their primary outlook from the pool area, the setback is quite substantial, mitigating the prominence of the upper floor.

Overall, the impact of the addition on neighbouring properties is not considered unreasonable.

Impact of Proposed Outbuilding

The proposed outbuilding is 56.8m² in floor area- within the 60m² guideline outlined in ENZ DPF 11.1. It is situated in the corner of the site, meaning it would have two boundary walls. The shorter of these would abut the pool area of the residential neighbour to the rear, while the longer side would abut the car parking area of the Lithuanian Caritas site. There is an outbuilding on the Caritas site which occupies approximately 8m of the boundary length, but the proposed structure would protrude some 3.5m further than this. Nonetheless, given the nature of this area, the actual impact of the length of this wall would be fairly limited.

With a wall height of 3m and a roof height of 4m, it does comply with the height guidelines in DPF 11.1. Nonetheless, there is a gable end to the structure, which would be positioned on the boundary with the residential neighbour to the rear.

That neighbour has an established hedge which would screen views of the proposed outbuilding. Regardless, in terms of its potential impact on the property to the rear, the outbuilding complies with the relevant guidelines of ENZ DPF 11.1, meaning its impact is considered to be within the scope of what the Code anticipates.

Materials

The addition's walling is proposed to use a stria cladding painted in dulux white duck half. This is described by dulux as a "light and neutral white with a subtle green undertone". This has a solar absorptance value of 0.37, compared to colorbond surfmists' 0.32 (by way of comparison for context).

The roof for the addition is proposed to match the colour of the existing dwelling's roof.

These material choices are generally suitably complimentary to the materials of the Historic Area such that they are acceptable, given how far back on the site they will be, and the limited visibility.

The neighbour to the rear, in their representation, expressed concern about the potential for glazed surfaces on the rear elevation to impose reflected light upon them. There is no relevant policy in the Planning and Design Code which provides specific clarity on the level of reflectivity that could reasonably be expected from windows. While there are some DPFs relating to reflectivity of sheet metal, but this seeks merely for it to be painted or pre-colour treated- generally aimed at avoiding zincalume or similar highly reflective metal cladding products. The painted finish of the addition's walling, for example, would comply with this DPF. There is, alternatively, PO 7.1 of the Interface between Land Uses module, which states "Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare." Given the specifically outlined issues which this policy seeks to address, it is not considered relevant to the concerns outlined by the representor.

Privacy

The proposed upper floor windows are frosted up to a height of 1.5m above the finished floor level of the upper floor, consistent with Design in Urban Areas DPF 10.1. Similarly, the proposed balcony has a frosted glass balustrade of 1.5m high. Design in Urban Areas DPF 10.2 seeks for balconies to have privacy screening of up to 1.7m when they are within 15m of a window on an adjoining residential property, or 1.5m high otherwise. The balcony is more than 15m from the rear boundary, so it cannot be within 15m of the windows of the property to the rear. However, it is approximately 10m from the northeastern boundary, with the neighbouring building understood to be approximately 3.5m from that boundary, and it is further understood that there are windows in that part of the building. This is to say that the balcony is within 15m of windows of the neighbour to the northeast.

In order to ensure compliance with relevant Code guidelines therefore, a condition is recommended that this screening be maintained, but that the screen on the northeastern side (at least) be raised to 1.7m in height.

Heritage

The proposal has been amended in line with advice from Council's Heritage Advisor, reducing the size of the upper floor to limit both its streetscape impact and to avoid the need to demolish any original portions of the roof of the building.

The addition is now set behind the whole of the roof of the Representative Building, meaning that there is no alteration to the eave and gutter.

There is only one piece of work proposed to the original portion of the building, which is to demolish part of the northeastern side wall to create a window to the existing courtyard. Historic Area Overlay PO 7.2 states:

"Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape."

As the part of the wall to be demolished is not visible from the streetscape (being behind a later addition to the side of the dwelling), the proposed demolition complies with this PO. Other demolition work proposed is to later additions which “do not conform with the values described in the Historic Area Statement”, as stated in Historic Area Overlay PO 7.3, which outlines that such demolition is acceptable.

Regarding the upper floor nature of the addition, the Heritage Advisor is not supportive, stating:
“the upper level will still be visible from the street. In this area with a single level TNV, visible upper level additions do not complement the single level historic streetscape character, and for this reason, I do not believe this two level addition is suitable in this context.”

The discussion of building height above reflects that the upper level is visible, but not visually prominent. As outlined above, Historic Area Overlay PO 2.2 seeks for heights to be “consistent with the prevailing building and wall heights in the Historic Area.” It is evident that the prevailing wall height across the whole Historic Area is generally single-storey, and the single-storey TNV reflects this. Nonetheless, the Historic Area Statement does state that building heights are “up to two storeys in some locations”.

Given the prominent two-storey building immediately next door, the impact of the upper floor on the historic streetscape here will be less

substantial. Thus, it is considered that the upper floor addition does not detract from the prevailing wall heights of the Historic Area, notwithstanding the view of the Heritage Advisor.

Traffic Impact, Access and Parking

The proposal includes removal of the existing outbuilding towards the rear of the site, with construction of a new outbuilding/garage. Whether these are used for parking or not, the existing covered parking spaces under the existing carport to the southwestern side of the dwelling are retained, meaning that the site continues to provide at least two parking spaces, one of which is covered, in accordance with Transport, Access and Parking Table 1. No other changes to the access arrangement are proposed.

Regulated and Significant Trees

There are two significant trees on the site, both *Eucalyptus camaldulensis* River Red Gum trees. One is located in the driveway of the site, with the other being on the northeastern side of the backyard.

As outlined in the Internal Referral Advice section, Council's City Arborist and Arborman Tree Solution agree that the proposed works will not damage the trees, provided that appropriate tree protection measures are implemented. These measures are detailed in the Arborman report, but include installation of tree protection fencing, and the installation of ground protection if any heavy machinery is used within the tree's Notional Root Zone. Further measures regarding irrigation, mulching and soil amelioration are recommended in the Arborman report, but as noted by the City Arborist, they are difficult to condition.

Landscaping and Private Open Space

The proposal would result in 215m² of soft landscaping, equating to 25% of the site area. This complies with DPF 22.1 of the Design in Urban Areas module.

The proposal includes well in excess of the 60m² guideline for private open space outlined in Design in Urban Areas Table 1.

Question of Seriously at Variance

The proposed development comprises construction of a two-storey dwelling addition including partial demolition of the existing building, extension of existing carport, and construction of an outbuilding (garage). It is located in the Established Neighbourhood Zone. Development of this nature is appropriate within the site, locality or in the subject Zone for the following reasons.

- The land use is consistent with the predominantly residential nature envisaged by the Zone;
- The Zone envisages additions to existing dwellings and construction of ancillary structures; and,
- The proposal retains an existing Representative Building consistent with the Historic Area Overlay.

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

CONCLUSION

While the two-storey nature of the proposal is at variance with the TNV for the area, the context of the site and the proposal is such that the impact of the proposed two-storey addition is not unreasonable. This is in large part due to the presence of the two-storey Local Heritage Place on the adjoining site but is aided by the reasonable setbacks proposed.

While there are two significant trees in close proximity to the development, both arborists who have reviewed the proposal are satisfied that the development will not result in damage to the trees, provided that appropriate tree protection measures are taken.

On balance, the proposed development is considered acceptable.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

RECOMMENDATION 1

Not Seriously at Variance

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

RECOMMENDATION 2

Granting of Planning Consent

Development Application Number 25024758, by Urban Habitats is granted Planning Consent subject to the following conditions:

CONDITIONS

Planning Consent

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

Condition 2

The upper floor windows shall either have sill heights of a minimum of 1500mm above floor level or be treated to a minimum height of 1500mm above floor level, within one (1) week of occupation of the building, in a manner that restricts views being obtained by a person within the room to the reasonable satisfaction of the Assessment Manager, and such treatment shall be maintained at all times to the reasonable satisfaction of the Council.

Condition 3

All stormwater from buildings and hard-surfaced areas shall be disposed of in accordance with recognised engineering practices in a manner and with materials that does not result in the entry of water onto any adjoining property or any building, and does not affect the stability of any building and in all instances the stormwater drainage system shall be directly connected into either the adjacent street kerb & water table or a Council underground pipe drainage system.

Condition 4

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants,

as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Council.

Condition 5

The balustrade of the balcony located at the rear of the proposed dwelling shall be treated to a height of at least 1700mm above floor level on the northeastern side, and at least 1500mm on the northwestern and southwestern sides, prior to occupation of the building, in a manner that restricts views being obtained by a person occupying the balcony, to the reasonable satisfaction of the Assessment Manager, and such treatment shall be maintained at all times to the reasonable satisfaction of the Council.

Condition 6

The Authority notes the two significant trees on the site outlined in the report prepared by Arborman Tree Solutions dated 15 August 2025. Tree protection measures, as outlined in this report, shall be undertaken. This includes:

- Installation of Tree Protection Zones (TPZs) in accordance with the plan labelled "Tree Protection Plan" dated 13 August 2025 in the aforementioned report. These TPZs shall follow the guidelines outlined in Appendix E of the report, including prohibited activities, fencing, signage and ground protection; and,
- No machinery access is to be permitted within the Notional Root Zone (NRZ) of the trees outside of any existing hardstand or encroachment, without the installation of ground protection in line with guidance from the project arborist.

ADVISORY NOTES

Planning Consent

Advisory Note 1

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 4

The Applicant is advised that the property is located within an Historic Overlay area and that Approval must be obtained for most works involving the construction, demolition, removal, conversion, alteration or addition to any building and/or structure (including all fencing forward of the building line).

Advisory Note 5

The Applicant is reminded of its responsibilities under the Environment Protection Act 1993, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off

site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

Advisory Note 6

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the Fences Act 1975 regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 7

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

Advisory Note 8

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the Local Government Act 1999 prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 9

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work.

Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

Advisory Note 10

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

Advisory Note 11

If excavating, it is recommended you contact Before You Dig Australia (BYDA) (www.byda.com.au) to keep people safe and help protect underground infrastructure.

Address: 10 THIRD AV ST PETERS SA 5069

To view a detailed interactive property map in SAPPa click on the map below



Property Zoning Details

Zone

Established Neighbourhood

Overlay

Airport Building Heights (Regulated) (*All structures over 110 metres*)

Historic Area (*NPSP20*)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

Local Variation (TNV)

Minimum Frontage (*Minimum frontage for a detached dwelling is 18m*)

Minimum Site Area (*Minimum site area for a detached dwelling is 600 sqm*)

Maximum Building Height (Levels) (*Maximum building height is 1 level*)

Site Coverage (*Maximum site coverage is 50 per cent*)

Development Pathways

■ Established Neighbourhood

1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Brush fence
- Building alterations
- Building work on railway land
- Outbuilding
- Partial demolition of a building or structure
- Private bushfire shelter
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Swimming pool or spa pool and associated swimming pool safety features
- Verandah
- Water tank (above ground)
- Water tank (underground)

2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Ancillary accommodation
- Carport
- Deck
- Dwelling addition
- Outbuilding
- Replacement building
- Temporary accommodation in an area affected by bushfire
- Verandah

3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Co-located Housing in the Co-located Housing Overlay
- Deck
- Demolition
- Detached dwelling
- Dwelling addition
- Fence
- Group dwelling
- Land division
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Tree-damaging activity
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	

PO 1.1

Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.

DTS/DPF 1.1

Development comprises one or more of the following:

- (a) Ancillary accommodation
- (b) Community facility
- (c) Consulting room
- (d) Dwelling
- (e) Office
- (f) Recreation area
- (g) Shop.

Site Dimensions and Land Division					
<p>PO 2.1</p> <p>Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <p>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</p> <table><tr><th>Minimum Site Area</th></tr><tr><td>Minimum site area for a detached dwelling is 600 sqm</td></tr></table> <p>and</p> <p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <table><tr><th>Minimum Frontage</th></tr><tr><td>Minimum frontage for a detached dwelling is 18m</td></tr></table> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</p>	Minimum Site Area	Minimum site area for a detached dwelling is 600 sqm	Minimum Frontage	Minimum frontage for a detached dwelling is 18m
Minimum Site Area					
Minimum site area for a detached dwelling is 600 sqm					
Minimum Frontage					
Minimum frontage for a detached dwelling is 18m					

Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table><tr><th>Site Coverage</th></tr><tr><td>Maximum site coverage is 50 per cent</td></tr></table> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p>	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 1 level</td></tr></table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer or Maximum Building Height (Meters) Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	Maximum Building Height (Levels)	Maximum building height is 1 level
Maximum Building Height (Levels)			
Maximum building height is 1 level			
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no</p>		

external alterations made to the building elevation facing the primary street

or

(b) meet all of the following:

- (i) do not include any development forward of the front façade building line
- (ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.

Primary Street Setback

PO 5.1

Buildings are set back from primary street boundaries consistent with the existing streetscape.

DTS/DPF 5.1

Buildings setback from the primary street boundary in accordance with the following table:

Development Context	Minimum setback
There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	<p>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</p> <p>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</p>
There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.

For the purposes of **DTS/DPF 5.1**:

- (a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback
- (b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table

Secondary Street Setback

PO 6.1

Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.

DTS/DPF 6.1

Building walls are set back from the secondary street boundary (other than a rear laneway):

- (a) no less than:

	<p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p> <p>or</p> <p>(b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <p>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(ii) side boundary walls do not:</p> <p>A. exceed 3.2m in wall height from the lower of the natural or finished ground level</p> <p>B. exceed 8m in length</p> <p>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <p>(b) in all other cases (i.e., there is a blank field), then:</p> <p>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</p> <p>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or</p>

	<p>finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</p> <p>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</p>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level.
Appearance	
<p>PO 10.1</p> <p>Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.</p>	<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.
<p>PO 10.2</p> <p>The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
Ancillary buildings and structures	
<p>PO 11.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 11.1</p> <p>Ancillary buildings and structures:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> (i) 500mm behind the building line of the dwelling to which they are ancillary or (ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street (e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless:

	<ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure</p> <p>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour.</p> <p>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 11.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 11.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. 										

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the	None specified.

owners or occupiers of land in the locality of the site of the development.	
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) ancillary accommodation (b) dwelling (c) dwelling addition (d) residential flat building. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) carport (c) deck (d) fence (e) internal building works (f) land division (g) outbuilding (h) pergola 	None specified.

<ul style="list-style-type: none"> (i) private bushfire shelter (j) recreation area (k) replacement building (l) retaining wall (m) shade sail (n) solar photovoltaic panels (roof mounted) (o) swimming pool or spa pool and associated swimming pool safety features (p) temporary accommodation in an area affected by bushfire (q) tree damaging activity (r) verandah (s) water tank. 	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> (a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres (b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres (c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level. 	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
Placement of Notices - Exemptions for Performance Assessed Development	
<p>None specified.</p>	
Placement of Notices - Exemptions for Restricted Development	
<p>None specified.</p>	

Part 3 - Overlays

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Ancillary development	
PO 4.1 Ancillary development, including carports, outbuildings and garages, complements the historic character of the area and associated buildings.	DTS/DPF 4.1 None are applicable.
PO 4.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s) and does not dominate the building or its setting.	DTS/DPF 4.2 None are applicable.

PO 4.3 Advertising and advertising hoardings are located and designed to complement the building, be unobtrusive, be below the parapet line, not conceal or obstruct significant architectural elements and detailing, or dominate the building or its setting.	DTS/DPF 4.3 None are applicable.
PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.	DTS/DPF 4.4 None are applicable.
Land Division	

Context and Streetscape Amenities	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Demolition	
PO 7.1 Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless: (a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or (b) the structural integrity or safe condition of the original building is beyond reasonable repair.	DTS/DPF 7.1 None are applicable.
PO 7.2 Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.	DTS/DPF 7.2 None are applicable.
PO 7.3 Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.	DTS/DPF 7.3 None are applicable.
Ruins	

Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP20	The Avenues Historic Area Statement (NPSP20) The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality. These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area. The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.	
	Eras, themes and context	Between the late 1870s and 1900, between the 1900s and the 1920s, and inter-war. Detached dwellings.
	Allotments, subdivision and built form patterns	Historic streetscape created by the regularity of the avenues and the development patterns that have formed around them. Primary dwelling frontages to streets, not lanes.
	Architectural styles, detailing and built form features	Predominantly single-storey, detached, late Victorian Italianate villas of reasonably substantial proportions. Elsewhere - the consistent styles of detached late Victorian Italianate villas of reasonably substantial proportions. Double fronted asymmetrical dwellings are the most common dwelling type, although there are a range of symmetrical dwellings, East Adelaide Company dwellings and some larger villas and mansions. The double fronted symmetrical and asymmetrical dwellings are an elegant, larger version of the simple colonial cottage with the addition of a projecting wing (in the case of the asymmetrical dwelling), a more elaborate verandah and increased detailing in plaster and render work around openings. The pitch and size of the roof makes this an important design element. Verandahs along the front elevation are another important element of both the double fronted symmetrical and asymmetrical dwelling. Some Edwardian style housing (such as Queen Anne and Art Nouveau styles), generally located within the later subdivided areas or on blocks which were re-subdivided from larger allotments. Joslin portion of this Policy Area - reflects general character, some of the dwelling stock, particularly towards the Lambert Road boundary, graduates into the 1920s style of housing, introducing with it a component of inter-war housing such as bungalows.
	Building height	Predominantly single-storey, up to two storeys in some locations.
	Materials	Bluestone or sandstone dressed and coursed.
	Fencing	Low, open fencing that reflects the period and style of the dwellings. Front fencing (including any secondary street frontage up to the alignment to the main face of the dwelling) generally low in height up to 1.2m (masonry), 1.5m (wrought iron, brush, timber and or wire or woven mesh) and 2m (masonry pillars), allowing views to dwelling. Timber picket, timber dowelling, masonry and cast iron palisade, or corrugated iron or mini orb within timber framing for cottages, villas and other dwellings built during the Victorian period. Timber picket, timber pailing, woven crimped wire, or corrugated iron or mini orb within timber framing for Edwardian dwellings. Timber pailing, wire mesh and timber or tube framing, woven crimped wire, or masonry with galvanised steel ribbon for bungalows, Tudors and inter-war dwellings.

Statement#	Statement	
		Side and rear fences in traditional materials such as timber, corrugated iron or well-detailed masonry.
	Setting, landscaping, streetscape and public realm features	Landscaping around a dwelling, particularly in the front garden, is an important design element. In St Peters, wide tree lined streets, with mature street trees and rear lanes used for vehicular access and garages
	Representative Buildings	Identified - refer to SA planning database.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
PO 1.1 Regulated trees are retained where they: <ul style="list-style-type: none"> (a) make an important visual contribution to local character and amenity (b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or (c) provide an important habitat for native fauna. 	DTS/DPF 1.1 None are applicable.
PO 1.2 Significant trees are retained where they: <ul style="list-style-type: none"> (a) make an important contribution to the character or amenity of the local area (b) are indigenous to the local area and are listed under the <i>National</i> 	DTS/DPF 1.2 None are applicable.

<p><i>Parks and Wildlife Act 1972</i> as a rare or endangered native species</p> <p>(c) represent an important habitat for native fauna</p> <p>(d) are part of a wildlife corridor of a remnant area of native vegetation</p> <p>(e) are important to the maintenance of biodiversity in the local environment and / or</p> <p>(f) form a notable visual element to the landscape of the local area.</p>	
<p>PO 1.3</p> <p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <p>(a) tree damaging activity is only undertaken to:</p> <p>(i) remove a diseased tree where its life expectancy is short</p> <p>(ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like</p> <p>(iii) rectify or prevent extensive damage to a building of value as comprising any of the following:</p> <p>A. a Local Heritage Place</p> <p>B. a State Heritage Place</p> <p>C. a substantial building of value</p> <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <p>(iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire</p> <p>(v) treat disease or otherwise in the general interests of the health of the tree and / or</p> <p>(vi) maintain the aesthetic appearance and structural integrity of the tree</p> <p>(b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>A tree-damaging activity in connection with other development satisfies all the following:</p> <p>(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible</p> <p>(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
Ground work affecting trees	
<p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support their retention and health.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Land Division	
<p>PO 3.1</p> <p>Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant</p>	<p>DTS/DPF 3.1</p> <p>Land division where:</p>

trees as far as is reasonably practicable.	(a) there are no regulated or significant trees located within or adjacent to the plan of division or (b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division.
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.

PO 1.2	DTS/DPF 1.2
Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	None are applicable.
PO 1.3	DTS/DPF 1.3
Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	None are applicable.
PO 1.4	DTS/DPF 1.4
Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. 	Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5	DTS/DPF 1.5
The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.	None are applicable.
Safety	
PO 2.1	DTS/DPF 2.1
Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	None are applicable.
PO 2.2	DTS/DPF 2.2
Development is designed to differentiate public, communal and private areas.	None are applicable.
PO 2.3	DTS/DPF 2.3
Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	None are applicable.
PO 2.4	DTS/DPF 2.4
Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	None are applicable.
PO 2.5	DTS/DPF 2.5
Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	None are applicable.
Landscaping	
PO 3.1	DTS/DPF 3.1
Soft landscaping and tree planting are incorporated to:	None are applicable.

<ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes. 	
Environmental Performance	
PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	DTS/DPF 4.1 None are applicable.
PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	DTS/DPF 4.2 None are applicable.
PO 4.3 Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	DTS/DPF 4.3 None are applicable.
Water Sensitive Design	
PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting: <ul style="list-style-type: none"> (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs. 	DTS/DPF 5.1 None are applicable.
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not: <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	DTS/DPF 7.1 None are applicable.
PO 7.2 Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.	DTS/DPF 7.2 None are applicable.

PO 7.3	DTS/DPF 7.3
Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.	None are applicable.
PO 7.4	DTS/DPF 7.4
Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.	Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.
PO 7.5	DTS/DPF 7.5
Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.	Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of: <ul style="list-style-type: none"> (a) 1m along all public road frontages and allotment boundaries (b) 1m between double rows of car parking spaces.
PO 7.6	DTS/DPF 7.6
Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.	None are applicable.
PO 7.7	DTS/DPF 7.7
Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.	None are applicable.
Earthworks and sloping land	
PO 8.1	DTS/DPF 8.1
Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	Development does not involve any of the following: <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2	DTS/DPF 8.2
Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3	DTS/DPF 8.3
Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	None are applicable.
PO 8.4	DTS/DPF 8.4
Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	None are applicable.

PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	DTS/DPF 11.1 None are applicable.
PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5	DTS/DPF 11.5

All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street.
PO 17.2	DTS/DPF 17.2

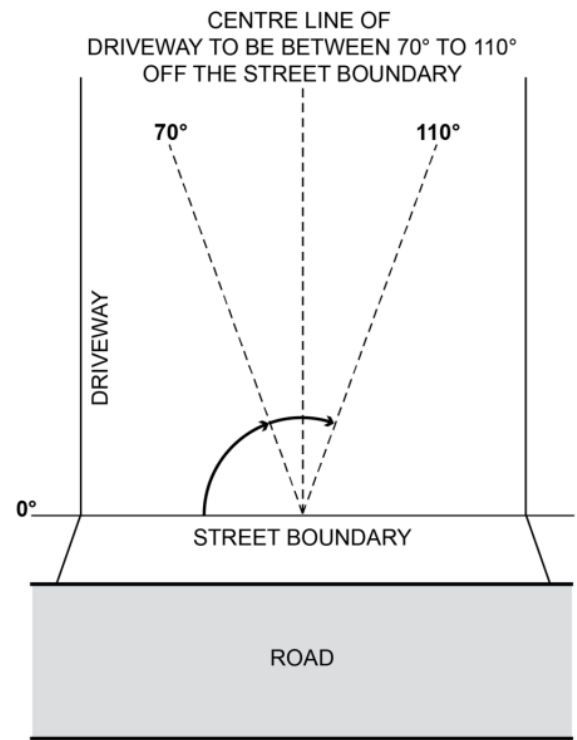
Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2 None are applicable.
Ancillary Development	
PO 19.1 Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.	DTS/DPF 19.1 Ancillary buildings (excluding ancillary accommodation): (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m ² (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-

	<p>reflective colour</p> <p>(k) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Residential Development - Low Rise	
External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.

PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable										
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to: (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): (a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): (a) single width car parking spaces: (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.										

<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:



- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.

PO 23.6

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

PO 24.1

Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings

Decks											
Design and Siting											
<p>PO 45.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none">(a) complement the associated building form(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)(c) minimise cut and fill and overall massing when viewed from adjacent land.	<p>DTS/DPF 45.1</p> <p>Decks:</p> <ul style="list-style-type: none">(a) where ancillary to a dwelling:<ul style="list-style-type: none">(i) are not constructed, added to or altered so that any part is situated:<ul style="list-style-type: none">A. in front of any part of the building line of the dwelling to which it is ancillary orB. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)(ii) are set back at least 900mm from side or rear allotment boundaries(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:<ul style="list-style-type: none">A. a total area is determined by the following table:<table><tr><th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr><tr><td><150</td><td>10%</td></tr><tr><td>150-200</td><td>15%</td></tr><tr><td>>200-450</td><td>20%</td></tr><tr><td>>450</td><td>25%</td></tr></table>B. the amount of existing soft landscaping prior to	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

	<p>the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <ul style="list-style-type: none"> (i) are set back at least 2 metres from the boundary of an allotment used for residential purposes. (ii) are set back at least 2 metres from a public road. (iii) have a floor area not exceeding 25m² <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>
<p>PO 45.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 45.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>
<p>PO 45.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 45.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General Land Use Compatibility	

Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. 	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. 	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <ul style="list-style-type: none"> a. for ground level private open space, the smaller of the following: <ul style="list-style-type: none"> i. half the existing ground level open space

	<p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
Activities Generating Noise or Vibration	
<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.</p>
<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>

Light Spill	
PO 6.1 External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).	DTS/DPF 6.1 None are applicable.
PO 6.2 External lighting is not hazardous to motorists and cyclists.	DTS/DPF 6.2 None are applicable.
Solar Reflectivity / Glare	
PO 7.1 Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.	DTS/DPF 7.1 None are applicable.

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	DTS/DPF 1.1 None are applicable.

PO 1.2	DTS/DPF 1.2
Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.	None are applicable.
PO 1.3	DTS/DPF 1.3
Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.	None are applicable.
PO 1.4	DTS/DPF 1.4
Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.	All vehicle manoeuvring occurs onsite.
Sightlines	
PO 2.1	DTS/DPF 2.1
Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	None are applicable.
PO 2.2	DTS/DPF 2.2
Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	None are applicable.
Vehicle Access	
PO 3.1	DTS/DPF 3.1
Safe and convenient access minimises impact or interruption on the operation of public roads.	<p>The access is:</p> <ul style="list-style-type: none"> (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.2	DTS/DPF 3.2
Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	None are applicable.
PO 3.3	DTS/DPF 3.3
Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.	None are applicable.
PO 3.4	DTS/DPF 3.4
Access points are sited and designed to minimise any adverse impacts on neighbouring properties.	None are applicable.
PO 3.5	DTS/DPF 3.5
Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	<p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility

	<p>infrastructure unless consent is provided from the asset owner</p> <p>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</p> <p>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</p> <p>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</p>
<p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <p>(a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided</p> <p>(b) for sites with a frontage to a public road greater than 20m:</p> <p>(i) a single access point no greater than 6m in width is provided</p> <p>or</p> <p>(ii) not more than two access points with a width of 3.5m each are provided.</p>
<p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p>	<p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <p>(a) 80 km/h road - 110m</p> <p>(b) 70 km/h road - 90m</p> <p>(c) 60 km/h road - 70m</p> <p>(d) 50km/h or less road - 50m.</p>
<p>PO 3.8</p> <p>Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.</p>	<p>DTS/DPF 3.8</p> <p>None are applicable.</p>
<p>PO 3.9</p> <p>Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.</p>	<p>DTS/DPF 3.9</p> <p>None are applicable.</p>
Access for People with Disabilities	
<p>PO 4.1</p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <p>(a) availability of on-street car parking</p> <p>(b) shared use of other parking areas</p> <p>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</p> <p>(d) the adaptive reuse of a State or Local Heritage Place.</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</p> <p>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</p> <p>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less</p>

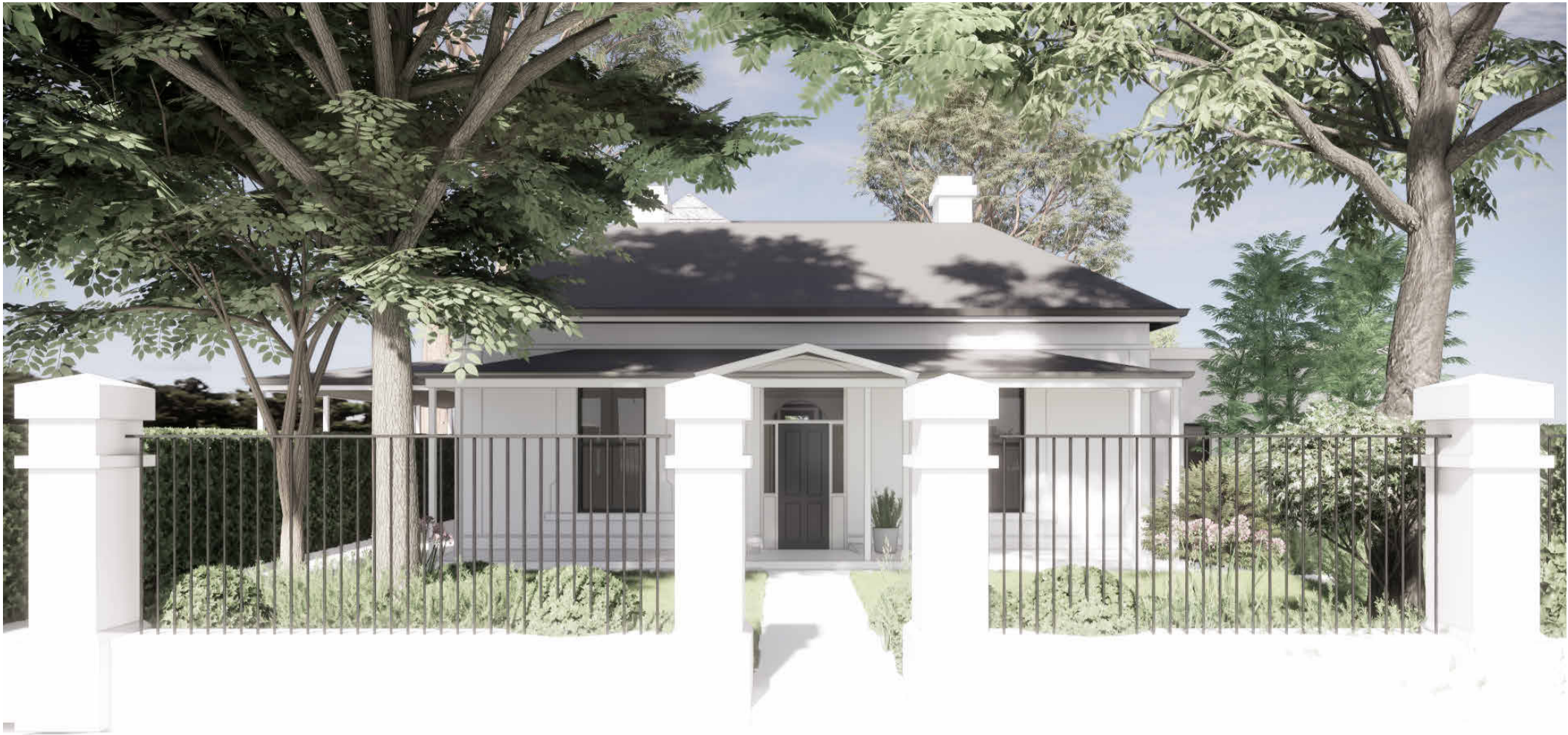
Policy24	P&D Code (in effect) Version 2025.15 14/08/2025
	the number of spaces offset by contribution to the fund.

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	

Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered
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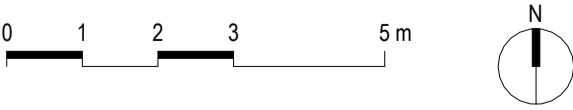
VIEW OF FRONT FACADE

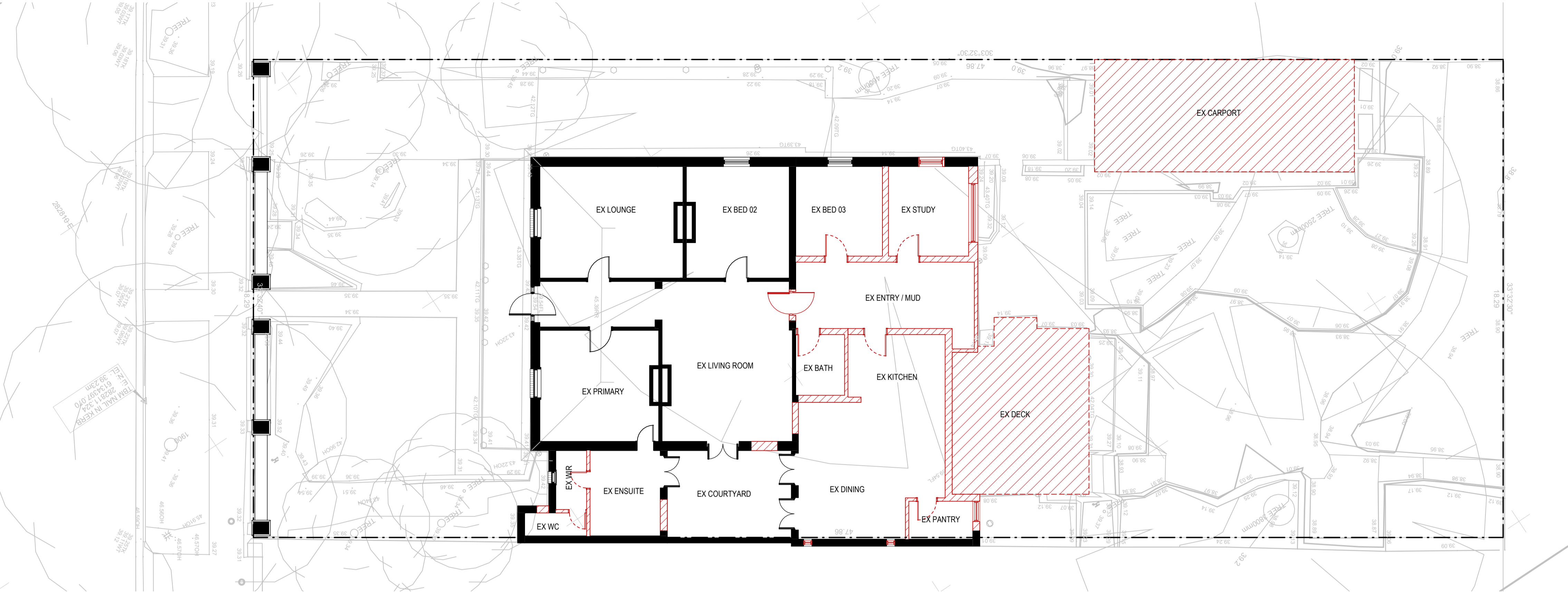
10 Third Ave, St Peters, SA, 5069

- s1.0 _ Title Page + Location
- s1.1 _ Demo + Site Plan
- s1.2 _ Ground + First Floor Plan
- s1.3 _ Elevations
- s1.4 _ Artistic Renders

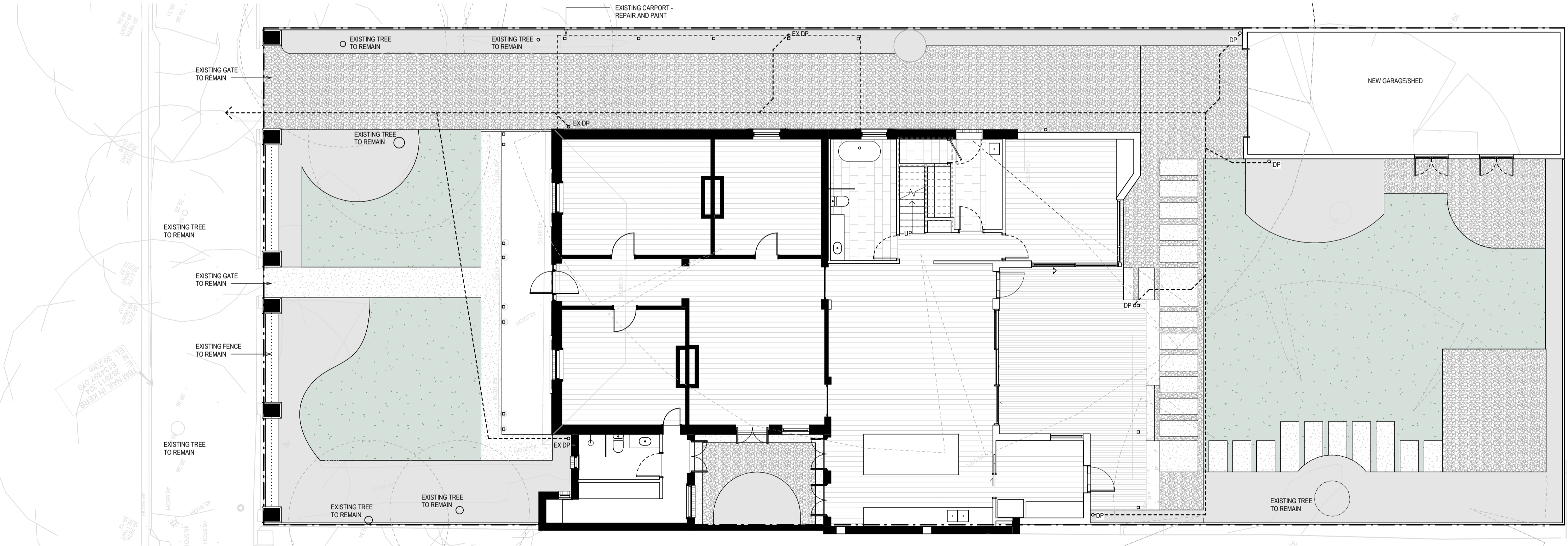
AREAS

Site:	875 sqm
Existing Residence:	245 sqm
Addition:	33 sqm
Outdoor Entertaining:	38 sqm
Garage:	57sqm
Building Site Coverage:	45%
Soft Landscaping:	32% (283sqm)

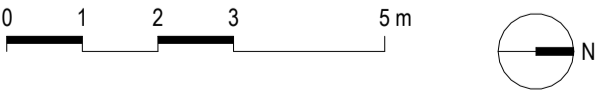




EXISTING/DEMO PLAN
SCALE: 1:100



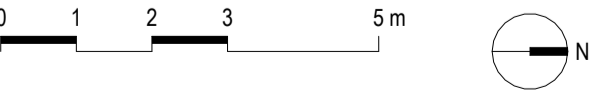
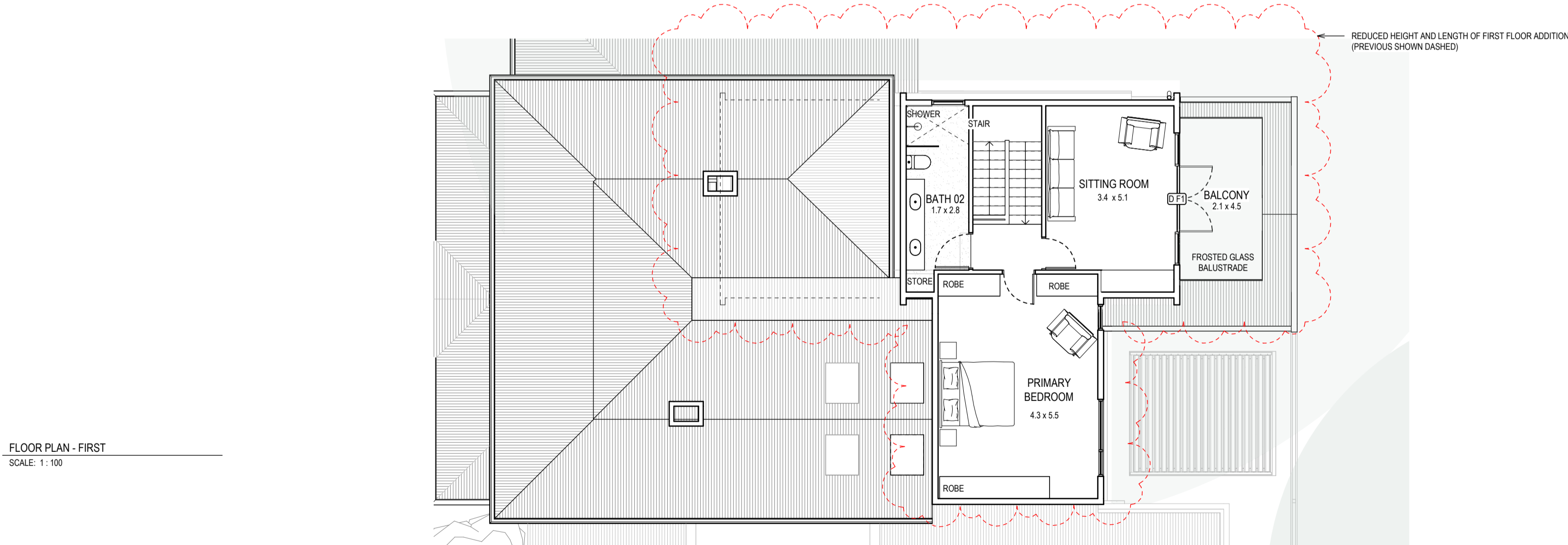
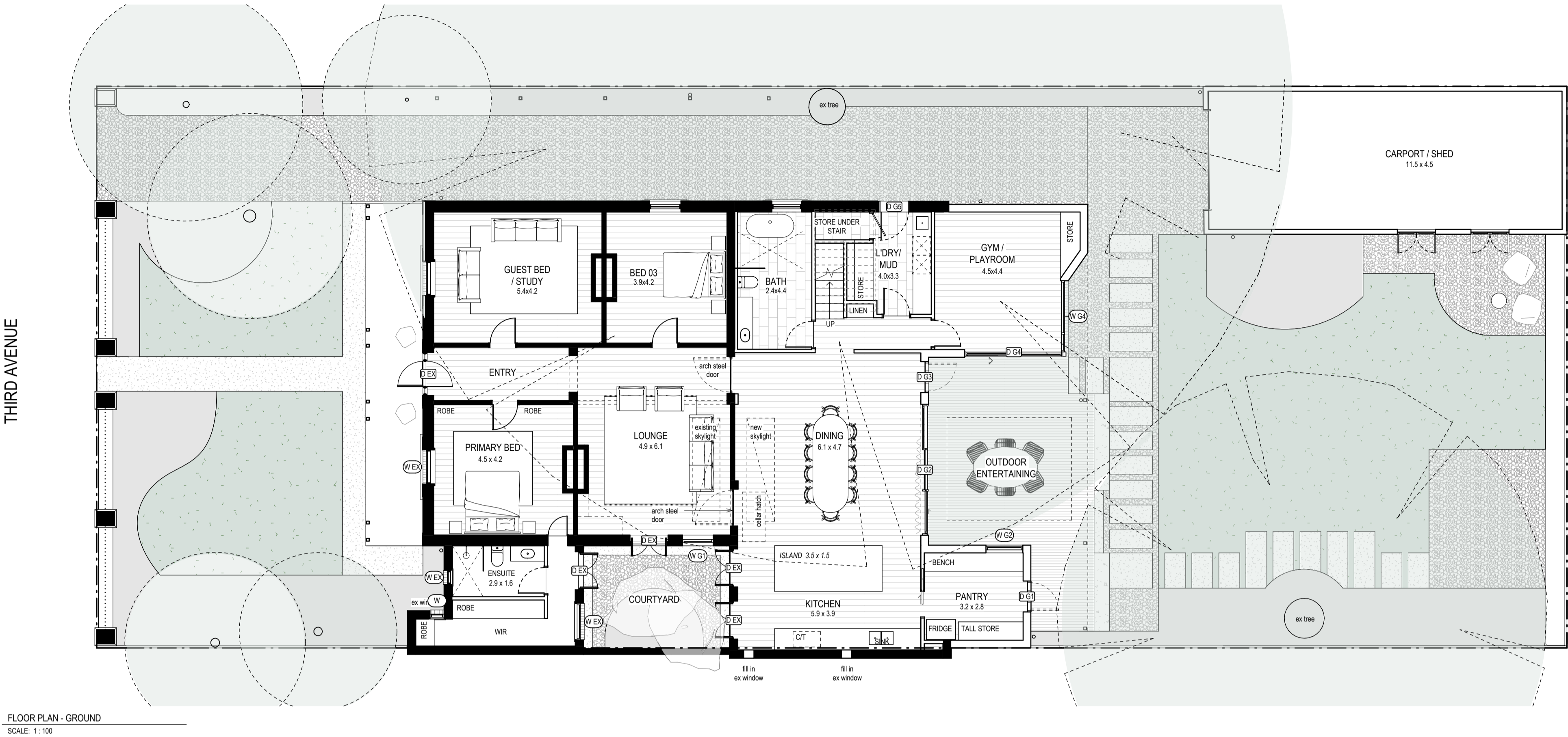
SITE PLAN
SCALE: 1:100



Third Ave Residence

at 10 Third Ave, St Peters





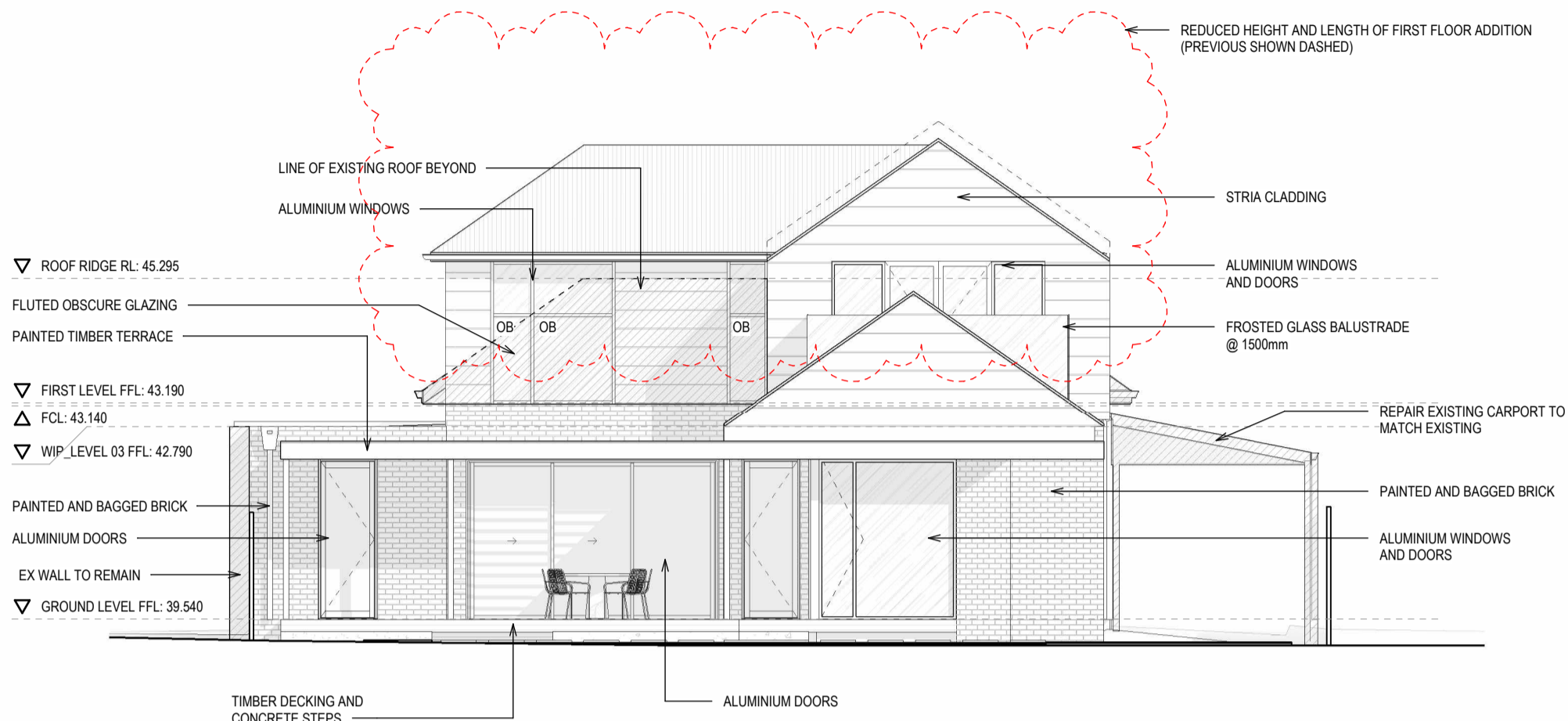
Third Ave Residence

at 10 Third Ave, St Peters

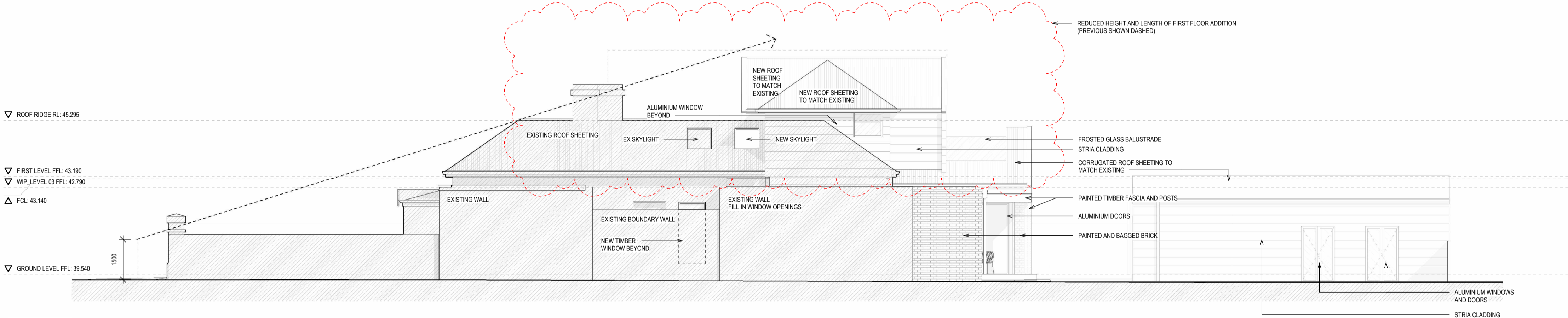




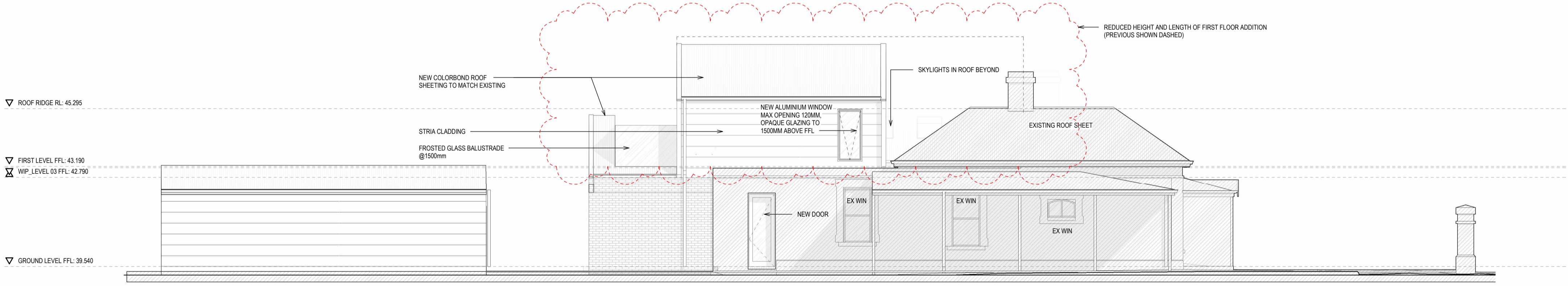
ELEVATION - SOUTH
SCALE: 1: 100



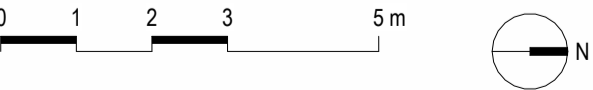
ELEVATION - NORTH
SCALE: 1: 100



ELEVATION - EAST
SCALE: 1: 100



ELEVATION - WEST
SCALE: 1: 100



Third Ave Residence

at 10 Third Ave, St Peters

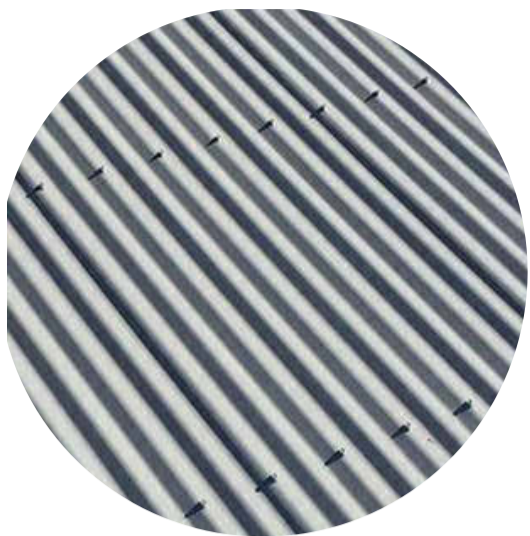




VIEW OF FRONT FACADE



VIEW OF REAR FACADE



ROOF SHEETING - TO MATCH EXISTING



TIMBER - PERGOLA POSTS, FASCIAS
PAINTED - DULUX WHITE DUCK HALF



BAGGED BRICK WALLS
PAINTED - DULUX WHITE DUCK

NEW WINDOWS AND DOORS - ALUMINIUM FRAMED
POWDERCOATED - MONUMENT



DULUX WHITE DUCK HALF



STRIA CLADDING - JAMES HARDIE HORIZONTAL SHEETING
PAINTED - DULUX WHITE DUCK HALF



HARDWOOD DECKING



Austral Bricks - San Selmo Classico Limewash

EXTERNAL FINISHES



Arboricultural Impact Assessment and Development Impact Report

Site: 10 Third Avenue, St Peters

Date: Friday, 15 August 2025

ATS7385-010ThiAveDIR

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Appendix A - Tree Assessment Methodology

Appendix B - Tree Assessment Findings

Appendix C - Mapping

Appendix D - Tree Assessment Summary

Appendix E - Tree Protection Root Zone Guidelines and Tree Protection Plan

Report Reference Number: ATS7385-010ThiAveDIR

Report prepared for:
Sarah Stephen, Urban Habitats

Author:
Tom Richardson, Consulting Arborist, Arborman Tree Solutions Pty Ltd

Executive Summary

Arborman Tree Solutions has assessed the Significant trees in the front and rear gardens of 10 Third Avenue, St Peters. The assessment has identified the potential impacts to the trees from the proposed development and supporting infrastructure and recommend mitigation strategies where appropriate. The proposal involves an addition of a second storey. This assessment provides recommendations in accordance with Australian Standard AS4970-2025 *Protection of trees on development sites* (AS4970-2025).

The assessment considered two trees which are both identified as *Eucalyptus camaldulensis* (River Red Gum). These trees potentially date back to the establishment of the allotment. The trees are both considered to be in Good overall condition, Tree 1 has had historic removal of buttress roots and the crown over the house but the tree has since adapted. Tree 2, whilst foliage density is slightly reduced, the new growth is healthy and there are no other indicators of reduced health. The growing environment includes the existing dwelling, paved areas, hard and soft landscaping and neighbouring garden areas.

Both trees are Significant trees as defined in the *PDI Act 2016* and the *Planning and Design Code (Regulated and Significant Tree Overlay)*. Significant trees should be preserved if they meet aesthetic and/or environmental criteria as described in the *Planning and Design Code (Regulated and Significant Tree Overlay)*. When assessed against the relevant 'Performance Outcomes', both trees are considered to provide 'important' aesthetic and/or environmental benefit which would warrant their protection.

The Arboricultural Impact Assessment has identified that the two Significant trees in the area of the proposed development are unlikely to be negatively impacted by the planned works. The proposed works are within the existing encroachment and both trees are a highly tolerant species, and it is therefore highly unlikely that the proposed works will impact on the viability of these trees.

Whilst the viability of the subject trees is unlikely to be impacted by the proposed works, there is potential for incidental damage and as such, Tree Protection is recommended as part of this construction.

Brief

Arborman Tree Solutions was engaged by Urban Habitats to undertake an Arboricultural Impact Assessment and provide a Development Impact Report for the identified trees at 10 Third Avenue, St Peters. The purpose of the Arboricultural Impact Assessment and Development Impact Report is to identify potential impacts the proposed development will have on the trees and provide mitigation strategies to minimise the impact where appropriate.

The proposed development includes the addition to the existing dwelling by including adding a new level and landscaping in the rear garden. This assessment will determine the potential impacts the proposal may have on the trees within the site and recommends impact mitigation strategies in accordance with Australian Standard AS4970-2025 *Protection of trees on development sites* (AS4970-2025) for trees to be retained.


In accordance with section 2.2 of the AS4970-2025 the following information is provided:-


- Assessment of the general condition and structure of the subject trees.
- Identification of the legislative status of trees on site as defined in the *Planning, Development and Infrastructure Act 2016* (PDI Act 2016).
- Identify and define the Notional Root Zone (NRZ) and Structural Root Zone (SRZ) for each tree.
- Identify potential impacts the development may have on tree health and/or stability.
- Recommend impact mitigation strategies in accordance with AS4970-2025 for trees to be retained and identify the resultant Tree Protection Zone (TPZ) for each tree.
- Provide information in relation to the management of trees.


Documents and Information Provided

The following information was provided for the preparation of this assessment:-

- Email instruction on Scope of Works
- Design Drawings
- Associated documents:

 Request.msg

 10 Third Ave, St Peters_PCE Revisions.pdf

 10 Third Ave, St Peters_08.07.25.pdf

Site Location

The trees are located in the front and rear gardens of 10 Third Avenue, St Peters.



Figure 1: Site Location - 10 Third Avenue, St Peters

Methodology

The proposed design was reviewed in association with the information in the Design Drawings and CAD files as provided by Urban Habitats.

The potential impact of the proposed works on tree condition is considered in accordance with the guidelines in AS4970-2025 *Protection of trees on development sites* (AS4970-2025). When determining potential impacts of an encroachment into a Notional Root Zone (NRZ), the following should be considered as outlined in AS4970-2025 section 3.3.4 *NRZ encroachment considerations*:-

- a) Location of roots and root development.
- b) The potential loss of root mass from the encroachment.
- c) Tree species and tolerance to root disturbance.
- d) Age, vigour and size of the tree.
- e) Lean and stability of the tree.
- f) Soil characteristics and volume, topography, and drainage.
- g) The presence of existing or past structures or obstacles affecting root growth.
- h) Design factors.

The impacts on a tree can be varied and are not necessarily consistent with or directly correlated to a particular level of encroachment, to assist in providing consistency the levels of impact have been classified into the following categories:-

- No Impact - no encroachment into the NRZ has been identified.
- Low <10% - the identified encroachment is less than 10% of the NRZ area and not expected to impact tree viability.
- Low >10% - the identified encroachment is greater than 10% of the NRZ area, however there are factors that indicate the proposed development will not negatively impact tree viability.
- High >10% - the identified encroachment is greater than 10% of the NRZ area and factors are present that indicate the proposed development will negatively impact tree viability. The impact is likely to lead to the long-term decline of the tree; however it is unlikely to impact on its short-term stability.
- Conflicted - the identified encroachment is greater than 10% of the NRZ area and in most cases will also impact the Structural Root Zone (SRZ) and/or the trunk. There are factors present that indicate the proposed development will negatively impact tree viability to the point where its removal is required as part of the development.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'Low' have features or considerations identified in clauses in AS4970-2025 3.3.4 *NRZ encroachment considerations* which indicate these trees will be sustainable.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'High' do not have any features or considerations identified in clauses in AS4970-2025 3.3.4 and therefore alternative design solutions, additional root investigations and/or tree sensitive construction measures are required if the tree is to be retained. Where alternative protection methodologies are not available tree removal may be required to accommodate the development.

Trees with an Impact identified as 'Conflicted' are impacted over the majority of their root zone and/or over the SRZ or on the trunk, additional root investigations or tree sensitive construction measures are not available, and the only option is alternative designs or tree removal.

Regulatory Status, Notional Root Zones and Development Impacts are shown in Appendix B - Tree Assessment Findings.

Assessment

Arborman Tree Solutions has assessed the Significant trees in the front and rear gardens of 10 Third Avenue, St Peters. The assessment has identified the potential impacts to the trees from the proposed development and supporting infrastructure and recommend mitigation strategies where appropriate. The proposal involves an addition of a second storey. This assessment provides recommendations in accordance with Australian Standard AS4970-2025 *Protection of trees on development sites* (AS4970-2025).

Tree Assessment

The assessment considered two trees which are both identified as *Eucalyptus camaldulensis* (River Red Gum). These trees potentially date back to the establishment of the allotment. The trees are both considered to be in Good overall condition, Tree 1 has had historic removal of buttress roots and the crown over the house but the tree has since adapted. Tree 2, whilst foliage density is slightly reduced, the new growth is healthy and there are no other indicators of reduced health. The growing environment includes the existing dwelling, paved areas, hard and soft landscaping and neighbouring garden areas.

Findings on individual tree health and condition are presented in Appendix B - Tree Assessment Findings.

Eucalyptus camaldulensis (River Red Gum) is a large tree reaching 25-35 metres in height with a broad spreading crown, as the tree matures it can develop buttress roots from its very thick trunk. This species is the most widespread and best known of the Australian eucalypts. As the common name would suggest it is generally found along waterways and on floodplains, despite this it is a very adaptable tree and will grow in a wide variety of soils and conditions. An advantage of this species heritage as a floodplain tree for the urban environment is that it is able to adapt to changes in soil levels and moisture content to a much greater extent than many other eucalypts being able to withstand changes in soil level, drought and water logging for extended periods. This is at least partially due to the species characteristic of deep sinker roots within two to three metres of the trunk that can extend considerable depths into the soil to areas of permanent water.

Legislative Assessment

Both trees are Significant trees as defined in the *PDI Act 2016* and the *Planning and Design Code (Regulated and Significant Tree Overlay)*. Significant trees should be preserved if they meet aesthetic and/or environmental criteria as described in the *Planning and Design Code (Regulated and Significant Tree Overlay)*. When assessed against the relevant 'Performance Outcomes', both trees are considered to provide 'important' aesthetic and/or environmental benefit which would warrant their protection

Retention Assessment

Trees that provide important environmental and/or aesthetic contribution to the area, are in good condition scored a High Retention Rating and conservation of these trees is encouraged. Trees that score a Moderate Retention Rating provide a level of environmental and/or aesthetic benefit, however not to an important level; these trees should be retained if they can be adequately protected. Trees identified as not suitable for retention or attained a Low Tree Retention Rating, displayed one or a number of the following attributes:-

- a) provide limited environmental/aesthetic benefit,
- b) short lived species,
- c) represent a material risk to persons or property,
- d) identified as causing or threatening to cause substantial damage to a structure of value,
- e) limited Useful Life Expectancy, and
- f) young and easily replaced.

Both trees are considered to be suitable for retention as they achieved a High Retention Rating, indicating they meet one or more criteria within the *PDI Act 2016* that warrant their retention as important trees.

Encroachment and Impact Assessment

Within AS4970-2025, relevant information is provided to assist with determining the impact on trees when developing in close proximity to them. Any tree identified for retention requires protection that will ensure it remains viable during and post development. Further guidance on how to suitably manage any proposed or encountered encroachments is identified in AS4970-2025.

Australian Standard AS4970-2025 provides a method to calculate a Notional Root Zone (NRZ) and a Structural Root Zone (SRZ) and uses these to determine the impact on any tree in the development zone and the area required to be retained as a Tree Protection Zone (TPZ). The assessment of potential impacts has been undertaken in accordance with AS4970-2025 sections 2.1.2 *Tree Protection Process* and 3.3 *Determining a Tree Protection Zone (TPZ)*; this assessment has determined the trees that can be retained and the area that is to be treated as a TPZ to allow for tree retention. This standard has been applied to ensure trees identified for retention remain viable and the redevelopment is achievable.

The new encroachment for Tree 1 is less than 10% of the NRZ area and does not impact the SRZ, this type of encroachment is recognised as 'Minor' as defined in AS4970-2025 (See Appendix C - Mapping). This level of encroachment results in No or Low Impact and additional root investigations are not required, warranted and have not been recommended in this instance. In this case the majority of the NRZ and an adjacent area equivalent to the encroachment is available for root colonisation. Additionally, the majority of the crown has previously been cleared and there is not expected to be any major crown impacts.

The encroachment for Tree 2 is greater than 10% but less than 20% of the NRZ area and does not impact the SRZ and is therefore classified as a 'Moderate Encroachment' as defined in AS4970-2025. AS4970-2025 also identifies relevant factors that should be considered when determining the 'impact' of encroachments such as this and the actual area to be set aside as a Tree Protection Zone (TPZ). These considerations are listed under section 3.3.2 *Considerations for determining the TPZ*. When considering these factors, the proposed encroachment is unlikely to result in tree damaging activity that will result in the decline, death or failure of the tree and is therefore considered to be a Low Impact.

The following discusses the relevant factors of AS4970-2025 section 3.3.2 *Considerations for determining the TPZ* for this tree:-

- 3.3.2 (c) '*Tree species and tolerance to root disturbance.*'
The species (*Eucalyptus camaldulensis*) has a good tolerance to root disturbance as its dimorphic root system has evolved to be able to exploit water at great depths. A dimorphic root system is an adaptation of evolutionary and environmental conditioning which essentially consists of two rooting systems, a lateral rooting system and a deep rooting system. The TPZ is therefore able to tolerate considerable encroachment without impacting tree viability.
- 3.3.2 (e) '*Age, health, current size and projected size of the tree*'
The tree is semi-mature and displays good health and vitality, indicating it can tolerate the proposed level of encroachment without noticeable impacts. Healthy and vigorous trees can manage various levels of pruning, demolition of existing structures, changes in soil grade and moisture, soil compaction and other root zone encroachments and are better able to adapt to the new site conditions once the development phase has been completed.

- 3.3.2 (h) *'Proposed tree maintenance and tree care activities.'*
The following tree maintenance and tree care activities could be undertaken as part of the management of this tree through the development of this site: -
 - a. Irrigation – the area of the root zone that is to be retained could be irrigated from the commencement of site works to the completion of all development activities. A permanent or temporary irrigation system during construction could be utilised. The use of irrigation is designed to promote additional root growth that will compensate for the minor level of root loss due to the required works.
 - b. Mulch – the area of the root zone that is to be retained could be mulched with a natural tree mulch, Forest Mulch, Arborist Mulch or similar. The mulch should be 75-100 mm thick and cover the irrigation system. The use of mulch is designed to retain soil moisture and promote additional root growth that will compensate for the minor level of root loss due to the required works.
 - c. Soil Amelioration – additional treatments could also be applied to soil as required to maintain/improve the growing environment. This may include the application of a sucrose solution, fertiliser and/or other soil improvers.
- 3.3.2 (m) *'Whether a root investigation is required. The location and distribution of the roots should be determined through minimally destructive investigation methods (pneumatic, hydraulic, hand digging or ground penetrating radar). Photographs should be taken and, where needed to address geospatial issues, a root map should be prepared.'*
The above considerations indicate that root investigation is not required, the site conditions and tree assessment indicate that it is highly unlikely that important roots will be encountered as part of the proposed works.

Conclusion

The Arboricultural Impact Assessment has identified that the two Significant trees in the area of the proposed development are unlikely to be negatively impacted by the planned works. The proposed works are within the existing encroachment and both trees are a highly tolerant species, and it is therefore highly unlikely that the proposed works will impact on the viability of these trees.

Recommendation

Tree Protection

Whilst the viability of Trees 1 and 2 is unlikely to be impacted by the proposed works, there is potential for incidental damage and as such, Tree Protection is recommended as part of this construction.

The following is recommended as a minimum:-

1. Ensure all work requirements/activities in the vicinity of these trees are discussed and designed in consultation with the Project Arborist, i.e. no machinery operation in the vicinity of the trees without a Tree Protection Plan.
2. A Tree Protection Zone (TPZ) fence and/or trunk protection is to be erected to ensure no accidental damage to the main trunk or branches.
3. If machinery access is required within the NRZ outside of any existing hard surface/encroachment, ground protection is to be installed in consultation with the Project Arborist to ensure tree roots are not damaged.

These recommendations have been provided to ensure the balance between development and arboricultural management have been addressed and considered. If the recommendations are followed and adhered to the trees will not be negatively impacted by this proposal.

Thank you for the opportunity to provide this report. Should you have any questions or require further information, please contact me and I will be happy to be of assistance.

Yours sincerely,



TOM RICHARDSON

Consulting Arborist

Diploma of Arboriculture – AHC50516

VALID Tree Risk Assessment (VALID)

Native Vegetation Council Trained Arborist

ISA – Tree Risk Assessment Qualification

Definitions

Circumference:	trunk circumference measured at one metre above ground level. This measurement is used to determine the status of the tree in relation to the <i>Planning, Development and Infrastructure Act 2016 (PDI Act 2016)</i> .
Diameter at Breast Height:	trunk diameter measured at 1.4 metres above ground level used to determine the Notional Root Zone as described in Australian Standard AS4970-2025 <i>Protection of trees on development sites</i> .
Diameter at Root Buttress:	trunk diameter measured just above the root buttress as described in Australian Standard AS4970-2025 <i>Protection of trees on development sites</i> and is used to determine the Structural Root Zone.
Tree Damaging Activity:	Tree damaging activity includes those activities described within the <i>Planning, Development and Infrastructure Act 2016 (PDI Act 2016)</i> , such as removal, killing, lopping, ringbarking or topping or any other substantial damage such as mechanical or chemical damage, filling or cutting of soil within the NRZ. Can also include forms of pruning above and below the ground.
Notional Root Zone (NRZ):	area of root zone that should be protected to prevent substantial damage to the tree's health.
Structural Root Zone (SRZ):	calculated area within the tree's root zone that is considered essential to maintain tree stability.
Project Arborist:	a person with the responsibility for conducting a tree assessment, report preparation, consultation with designers, specifying tree protection measures, monitoring and certification. The Project Arborist must be competent in arboriculture, having acquired through training, minimum Australian Qualification Framework (AQTF) Level 5, Diploma of Horticulture (Arboriculture) and/or equivalent experience, the knowledge and skills enabling that person to perform the tasks required by this standard.
Encroachment:	the area of a Notional Root Zone that is within the proposed development area.
Impact:	the effect on tree health, structure and/or viability as a result of required works associated with the proposed development within the NRZ or the vicinity of the tree(s).

References

Australian Standard AS4970–2025 ***Protection of trees on development sites***: Standards Australia.

Matheny N. Clark J. 1998: ***Trees and Development a Technical Guide to Preservation of Trees During Land Development***. International Society of Arboriculture, Champaign, Illinois, USA.

Appendix A - Tree Assessment Methodology

Tree Assessment Form (TAF©)

Record	Description
Tree	In botanical science, a tree is a perennial plant which consists of one or multiple trunks which supports branches and leaves. Trees are generally taller than 5 metres and will live for more than ten seasons, with some species living for hundreds or thousands of seasons.
Genus and Species	<p>Botanical taxonomy of trees uses the binominal system of a genus and species, often there are subspecies and subgenus as well as cultivars. When identifying tree species, identification techniques such as assessing the tree's form, flower, stem, fruit and location are used. Identifying the right species is critical in assessing the tree's legalisation and environmental benefit. All efforts are made to correctly identify each tree to species level, where possible.</p> <p>Genus is the broader group to which the tree belongs e.g. <i>Eucalyptus</i>, <i>Fraxinus</i> and <i>Melaleuca</i>. Species identifies the specific tree within the genus e.g. <i>Eucalyptus camaldulensis</i>, <i>Fraxinus griffithi</i> or <i>Melaleuca styphelioides</i>. Trees will also be assigned the most commonly used Common Name. Common Names are not generally used for identification due to their nonspecific use, i.e. <i>Melia azedarach</i> is commonly known as White Cedar in South Australia but is also called Chinaberry Tree, Pride of India, Bead-tree, Cape Lilac, Syringa Berrytree, Persian Lilac, and Indian Lilac; equally similar common names can refer to trees from completely different Genus e.g. Swamp Oak, Tasmanian Oak and English Oak are from the <i>Casuarina</i>, <i>Eucalyptus</i> and <i>Quercus</i> genus's respectively.</p>
Height	Tree height is estimated by the arborist at the time of assessment. Tree height is observed and recorded in the following ranges; <5m, 5-10m, 10-15m and >20m.
Spread	Tree crown spread is estimated by the arborist at the time of assessment and recorded in the following ranges <5m, 5-10m, 10-15m, 15-20m, >20m.
Health	Tree health is assessed using the Arborman Tree Solutions - Tree Health Assessment Method that is based on international best practice.
Structure	Tree structure is assessed using Arborman Tree Solutions - Tree Structure Assessment Method that is based on international best practice.
Tree Risk Assessment	Tree Risk is assessed using Tree Risk Assessment methodology. The person conducting the assessment has been trained in the International Society of Arboriculture Tree Risk Assessment Qualification (TRAQ), Quantified Tree Risk Assessment (QTRA) and/or VALID Tree Risk Assessment (VALID). Refer to the Methodology within the report for additional information.
Legislative Status	Legislation status is identified through the interpretation of the <i>Development Act 1993</i> , the <i>Natural Resource Management Act 2004</i> , the <i>Native Vegetation Act 1991</i> and/or any other legislation that may apply.
Mitigation	Measures to reduce tree risk, improve tree condition, remove structural flaws, manage other conditions as appropriate may be recommended in the form of pruning and is listed in the Tree Assessment Findings (Appendix B). Tree pruning is recommended in accordance with AS4373-2007 <i>Pruning amenity trees</i> where practicable. Where measures to mitigate risk is not possible and the risk is unacceptable, then tree removal or further investigation is recommended.

Useful Life Expectancy (ULE)

ULE Rating	Definition
Surpassed	The tree has surpassed its Useful Life Expectancy. Trees that achieve a surpassed ULE may do so due to poor health, structure or form. Additionally, trees that are poorly located such as under high voltage powerlines or too close to structures may also achieve a surpassed ULE. Trees that achieve this status will be recommended for removal as there are no reasonable options to retain them.
<10 years	The tree displays either or both Poor Health and/or Structure and is considered to have a short Useful Life Expectancy of less than ten years. Some short-lived species such as <i>Acacia sp.</i> may naturally achieve a short ULE.
>10 years	The tree displays Fair Health or Structure and Good Health or Structure and is considered to have a Useful Life Expectancy of ten years or more. Trees identified as having a ULE of >10, will require mitigation such as pruning, stem injections or soil amelioration to increase their ULE.
>20 years	The tree displays Good Health and Structure and is considered to have an extended Useful Life Expectancy of more than twenty years.

Maturity (Age)

Age Class	Definition
Senescent	The tree has surpassed its optimum growing period and is declining and/or reducing in size. May be considered as a veteran in relation to its ongoing management. Tree will have generally reached greater than 80% of its expected life expectancy.
Mature	A mature tree is one that has reached its expected overall size, although the tree's trunk is still expected to continue growing. Tree maturity is also assessed based on species; as some trees are much longer lived than others. Tree will have generally reached 20-80% of its expected life expectancy.
Semi Mature	A tree which has established but has not yet reached maturity. Normally tree establishment practices such as watering will have ceased. Tree will generally not have reached 20% of its expected life expectancy.
Juvenile	A newly planted tree or one which is not yet established in the landscape. Tree establishment practices such as regular watering will still be in place. Tree will generally be a newly planted specimen up to five years old; this may be species dependant.

Tree Health Assessment (THA©)

Category	Description
Good	Tree displays normal vigour, uniform leaf colour, no or minor dieback (<5%), crown density (>90%). When a tree is deciduous, healthy axillary buds and typical internode length is used to determine its health. A tree with good health would show no sign of disease and no or minor pest infestation was identified. The tree has little to no pest and/or disease infestation.
Fair	Tree displays reduced vigour abnormal leaf colour, a moderate level of dieback (<15%), crown density (>70%) and in deciduous trees, reduced axillary buds and internode length. Minor pest and/or disease infestation potentially impacting on tree health. Trees with fair health have the potential to recover with reasonable remedial treatments.
Poor	Tree displays an advanced state of decline with low or no vigour, chlorotic or dull leaf colour, with high crown dieback (>15%), low crown density (<70%) and/or in deciduous trees, few or small axillary buds and shortened internode length. Pest and or disease infestation is evident and/or widespread. Trees with poor health are highly unlikely to recover with any remedial treatments; these trees have declined beyond the point of reversal.
Dead	The tree has died and has no opportunity for recovery.

Tree Structural Assessment (TSA©)

Category	Description
Good	Little to no branch failure observed within the crown, well-formed unions, no included bark, good branch and trunk taper present, root buttressing and root plate are typical. Trees that are identified as having good health display expected condition for their age, species and location.
Fair	The tree may display one or more of the following a history of minor branch failure, included bark unions may be present however, are stable at this time, acceptable branch and trunk taper present, root buttressing and root plate are typical. Trees with fair structure will generally require reasonable remediation methods to ensure the tree's structure remains viable.
Poor	History of significant branch failure observed in the crown, poorly formed unions, unstable included bark unions present, branch and/or trunk taper is abnormal, root buttressing and/or root plate are atypical.
Failed	The structure of the tree has or is in the process of collapsing.

Tree Form Assessment (TFA©)

Category	Description
Good	Form is typical of the species and has not been altered by structures, the environment or other trees.
Fair	The form has minor impacts from structures, the environment or adjacent trees which has altered its shape. There may be slight phototropic response noted or moderate pruning which has altered the tree's form.
Poor	The tree's form has been substantially impacted by structures, the environment, pruning or other trees. Phototropic response is evident and unlikely to be corrected.
Atypical	Tree form is highly irregular due to structures or other trees impacting its ability to correctly mature. Extreme phototropic response is evident; or the tree has had a substantially failure resulting in its poor condition, or extensive pruning has altered the tree's form irreversibly.

Priority

Category	Description
Low	Identified works within this priority should be carried out within 12 months.
Medium	Identified works within this priority should be carried out within 6 months.
High	Identified works within this priority should be carried out within 3 months.
Urgent	Identified works within this priority should be carried out immediately. Works within this priority rating will be brought to attention of the responsible person at the time of assessment.

Tree Retention Rating (TRR)

The Tree Retention Rating is based on a number of factors that are identified as part of the standard tree assessment criteria including Condition, Size, Environmental, Amenity and Special Values. These factors are combined in a number of matrices to provide a Preliminary Tree Retention Rating and a Tree Retention Rating Modifier which combine to provide a Tree Retention Rating that is measurable, consistent and repeatable.

Preliminary Tree Retention Rating

The Preliminary Tree Retention Rating is conducted assessing Tree Health and Structure to give an overall Condition Rating and Height and Spread to give an overall Size Rating. The following matrices identify how these are derived.

Condition Matrix				
Structure	Health			
	Good	Fair	Poor	Dead
Good	Good	Fair	Poor	Very Poor
Fair	Fair	Fair	Poor	Very Poor
Poor	Poor	Poor	Poor	Very Poor
Failed	Very Poor	Very Poor	Very Poor	Very Poor

Size Matrix					
Spread	Height				
	>20	15-20	10-15	5-10	<5
>20	Very Large	Large	Medium	Medium	Medium
15-20	Large	Large	Medium	Medium	Medium
10-15	Medium	Medium	Medium	Medium	Medium
5-10	Medium	Medium	Medium	Small	Small
<5	Medium	Medium	Medium	Small	Very Small

The results from the Condition and Size Matrices are then placed in the Preliminary Tree Retention Rating Matrix.

Preliminary Tree Retention Rating				
Size	Condition			
	Good	Fair	Poor	Very Poor
Very Large	High	Moderate	Low	Low
Large	High	Moderate	Low	Low
Medium	Moderate	Moderate	Low	Low
Small	Moderate	Low	Low	Low
Very Small	Low	Low	Low	Low

The Preliminary Tree Retention Rating gives a base rating for all trees regardless of other environmental and/or amenity factors and any Special Value considerations. The Preliminary Tree Retention Rating can only be modified if these factors are considered to be of high or low enough importance to warrant increasing or, in a few cases, lowering the original rating.

Tree Retention Rating Modifier

The Preliminary Tree Retention Rating is then qualified against the recognised Environmental and Amenity benefits that trees present to the community thereby providing a quantitative measure to determine the overall Tree Retention Rating. Data is collected in relation to Environmental and Amenity attributes which are compared through a set of matrices to produce a Tree Retention Rating Modifier.

Environmental Matrix				
Origin	Habitat			
	High Habitat	Medium	Low	No Habitat
Indigenous	High	Moderate	Moderate	Low
Native	Moderate	Moderate	Low	Low
Exotic	Moderate	Low	Low	Low
Weed	Moderate	Low	Low	Low

Amenity Matrix				
Character	Aesthetics			
	High	Moderate	Low	None
High	High	High	Moderate	Moderate
Moderate	High	Moderate	Moderate	Low
Low	Moderate	Moderate	Low	Low
None	Moderate	Low	Low	Low

Tree Retention Rating Modifier			
Amenity	Environment		
	High	Moderate	Low
High	High	High	Moderate
Moderate	High	Moderate	Moderate
Low	Moderate	Moderate	Low

Tree Retention Rating

The results of the Preliminary Tree Retention Rating and the Tree Retention Rating Modifier matrices are combined in a final matrix to give the actual Tree Retention Rating.

Tree Retention Rating Matrix			
Tree Retention Rating Modifier	Preliminary Tree Retention Rating		
	High	Moderate	Low
High	High	High	Moderate
Moderate	Moderate	Moderate	Low
Low	Moderate	Low	Low

Special Value Trees

Trees can have 'Special Value' for reasons outside of normal Arboricultural assessment protocols and therefore would not have been considered in the assessment to this point; to allow for this a Special Value characteristic that can override the Tree Retention Rating can be selected. Special Value characteristics that could override the Tree Retention Rating would include factors such as the following:-

Cultural Values

Memorial Trees, Avenue of Honour Trees, Aboriginal Heritage Trees, Trees planted by Dignitaries and various other potential categories.

Environmental Values

Rare or Endangered species, Remnant Vegetation, Important Habitat for rare or endangered wildlife, substantial habitat value in an important biodiversity area and various other potential categories.

Where a tree achieves one or more Special Value characteristics the Tree Retention Rating will automatically be overridden and assigned the value of Important.

Tree Retention Rating Definitions

- Special Value** These trees will in all instances be required to be retained within any future development/redevelopment. It is highly unlikely that trees that achieve this rating would be approved for removal or any other tree damaging activity. Trees will have either important cultural or environmental value, that warrant their protection regardless of other Arboricultural considerations.
- High** These trees will in most instances be required to be retained within any future development/redevelopment. It is unlikely that trees that achieve this rating would be approved for removal or any other tree damaging activity. Trees in this category will provide a high level of amenity and/or environmental benefit and are still good overall condition.
- Moderate** Trees with a moderate retention rating provide limited environmental benefit and amenity to the area. These trees may be semi mature or exotic species with limited environmental value. Moderate trees may also be large trees that display fair overall condition.
- Low** These trees may not be considered suitable for retention in a future development or redevelopment. These trees will either be young trees that are easily replaced or in poor overall condition. Trees in this category do not warrant special works or design modifications to allow for their retention. Trees in this category are likely to be approved for removal and/or other tree damaging activity in an otherwise reasonable and expected development. Protection of these trees, where they are identified to be retained, should be consistent with Australian Standard AS4970-2025 *Protection of trees on development sites*.

Development Impact Assessment

Potential development impacts were determined in accordance with Australian Standard AS4970-2025 *Protection of trees on development sites*. The identification of the impact of development considers a number of factors including the following:

- a. The extent of encroachment into a tree's Tree Protection Zone by the proposed development as a percentage of the area.
- b. Results of any non-destructive exploratory investigations that may have occurred to determine root activity.
- c. Any required pruning that may be needed to accommodate the proposed development.
- d. Tree species and tolerance to root disturbance.
- e. Age, vigour and size of the tree.
- f. Lean and stability of the tree.
- g. Soil characteristics and volume, topography and drainage.
- h. The presence of existing or past structures or obstacles potentially affecting root growth.
- i. Design factors incorporated into the proposed development to minimise impact.

The impacts on a tree can be varied and are not necessarily consistent with or directly correlated to a particular level of encroachment, to assist in providing consistency the levels of impact have been classified into the following categories: -

- No Impact - no encroachment into the TPZ has been identified.
- Low <10% - the identified encroachment is less than 10% of the TPZ area and not expected to impact tree viability.
- Low >10% - the identified encroachment is greater than 10% of the TPZ area however there are factors that indicate the proposed development will not negatively impact tree viability.
- High >10% - the identified encroachment is greater than 10% of the TPZ area and factors are present that indicate the proposed development will negatively impact tree viability. The impact is likely to lead to the long-term decline of the tree, however it is unlikely to impact on its short-term stability.
- Conflicted - the identified encroachment is greater than 10% of the TPZ area and in most cases will also impact the SRZ and/or the trunk. There are factors present that indicate the proposed development will negatively impact tree viability to the point where its removal is required as part of the development.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'Low' have features or considerations identified in clauses in AS4970-2025 3.3.4 *TPZ encroachment considerations* which indicate these trees should be sustainable.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'High' do not have any features or considerations identified in clauses in AS4970-2025 3.3.4 and therefore alternative design solutions, additional root investigations and/or tree sensitive construction measures are required if the tree is to be retained. Where alternative protection methodologies are not available tree removal may be required to accommodate the development.

Trees with an Impact identified as 'Conflicted' are impacted over the majority of their root zone and/or over the SRZ or on the trunk, additional root investigations or tree sensitive construction measures are not available and the only option is alternative designs or tree removal.

Appendix B - Tree Assessment Findings

Eucalyptus camaldulensis

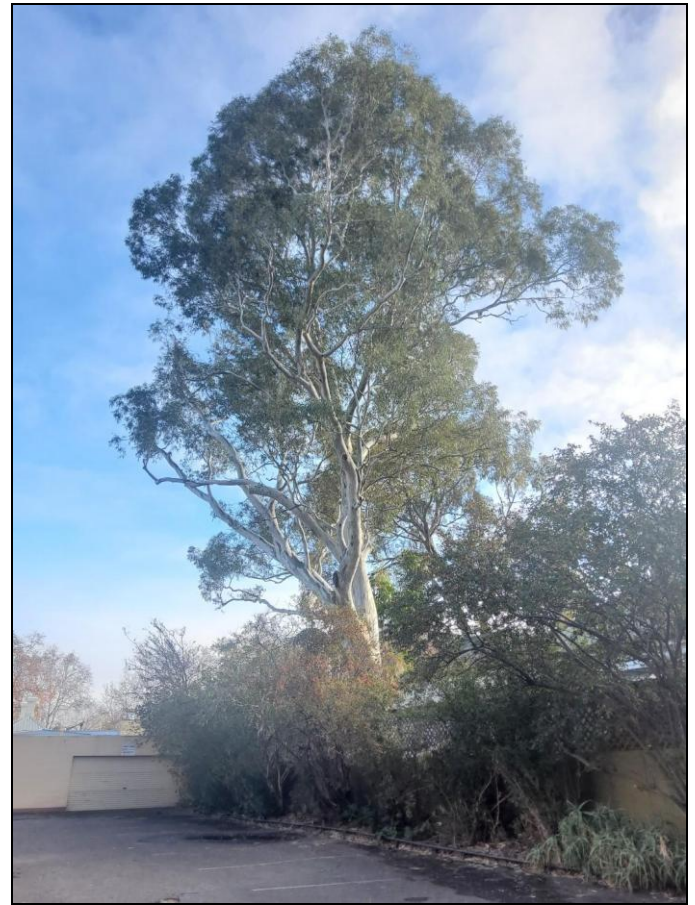
Tree No: 1

River Red Gum

Inspected:	26 June 2025
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Notional Root Zone:	15.00 metres
Structural Root Zone:	3.81 metres

Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. There is a minor level of deadwood in the crown associated with previous decline, but is not a significant health concern. There has been historic removal of buttress roots but the tree has since adapted.

**Legislative Status**

Significant

This tree has a trunk circumference greater than two metres, is not subject to any exemption from regulation and is therefore identified as a Significant Tree as defined in the Planning, Development and Infrastructure Act 2016.

Retention Rating

High

This tree has a High Retention Rating and should be retained if reasonably possible. Approval for tree damaging activity, including removal, is unlikely

Development Impact

Low

The identified encroachment is greater than 10% of the Tree Protection Zone area however the potential loss of root mass is such that a long-term impact on tree viability is not expected.

Action

Protect Root Zone

Protect the root zone, main trunk and crown in accordance with the recommendations and principles of AS4970-2025 Protection of trees on development sites.

Eucalyptus camaldulensis

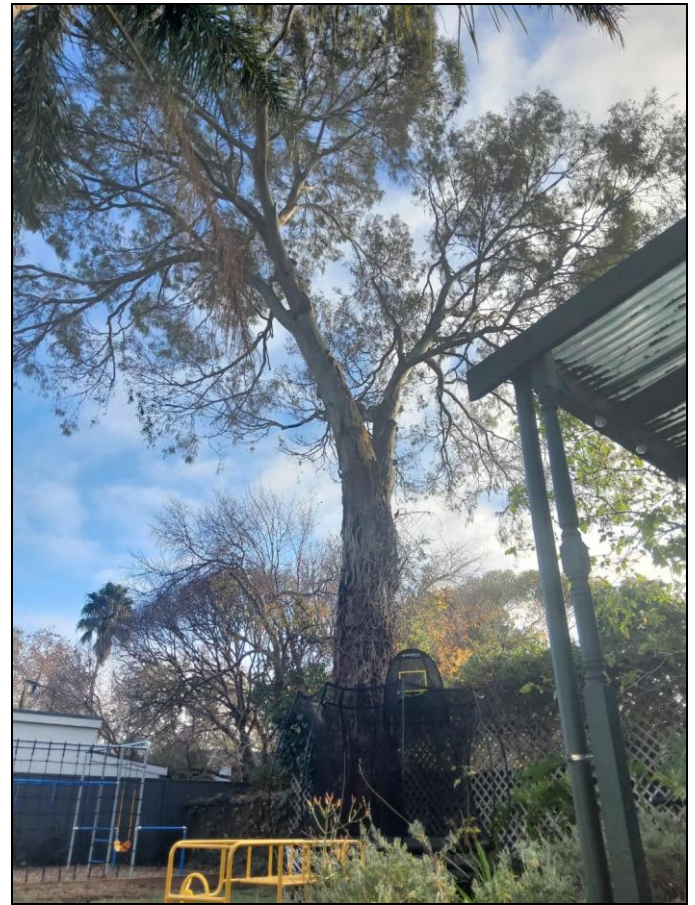
Tree No: 2

River Red Gum

Inspected:	26 June 2025
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Notional Root Zone:	14.52 metres
Structural Root Zone:	3.71 metres

Observations

This tree is considered to be in good overall condition, whilst the foliage density is slightly reduced, the new growth is healthy and there are no other indicators of reduced health.



Legislative Status

Significant

This tree has a trunk circumference greater than two metres, is not subject to any exemption from regulation and is therefore identified as a Significant Tree as defined in the Planning, Development and Infrastructure Act 2016.

Retention Rating

High

This tree has a High Retention Rating and should be retained if reasonably possible. Approval for tree damaging activity, including removal, is unlikely

Development Impact

Low

The identified encroachment is greater than 10% of the TPZ area however there are factors that indicate the proposed development will not negatively impact tree viability.

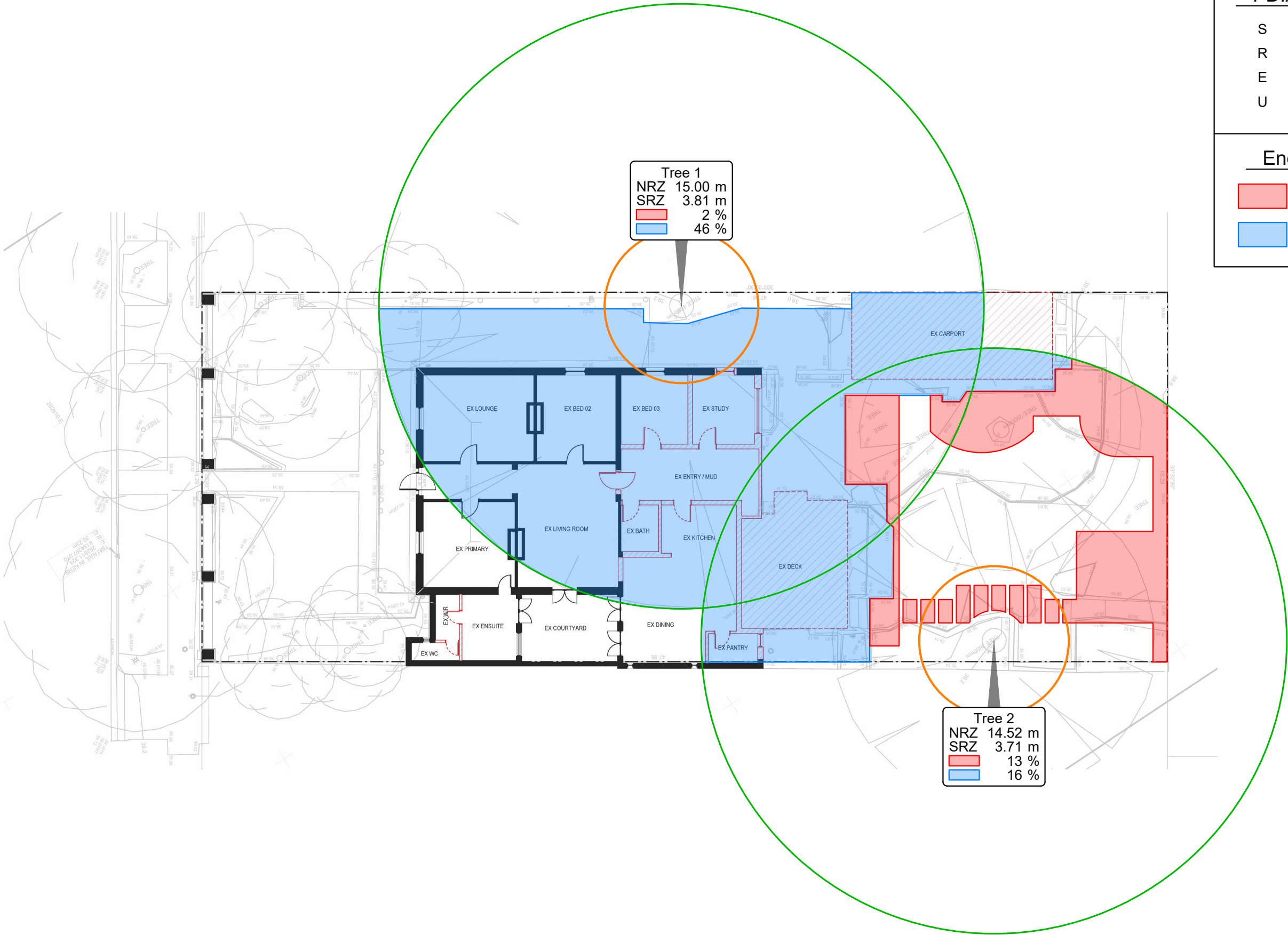
Action

Protect Root Zone

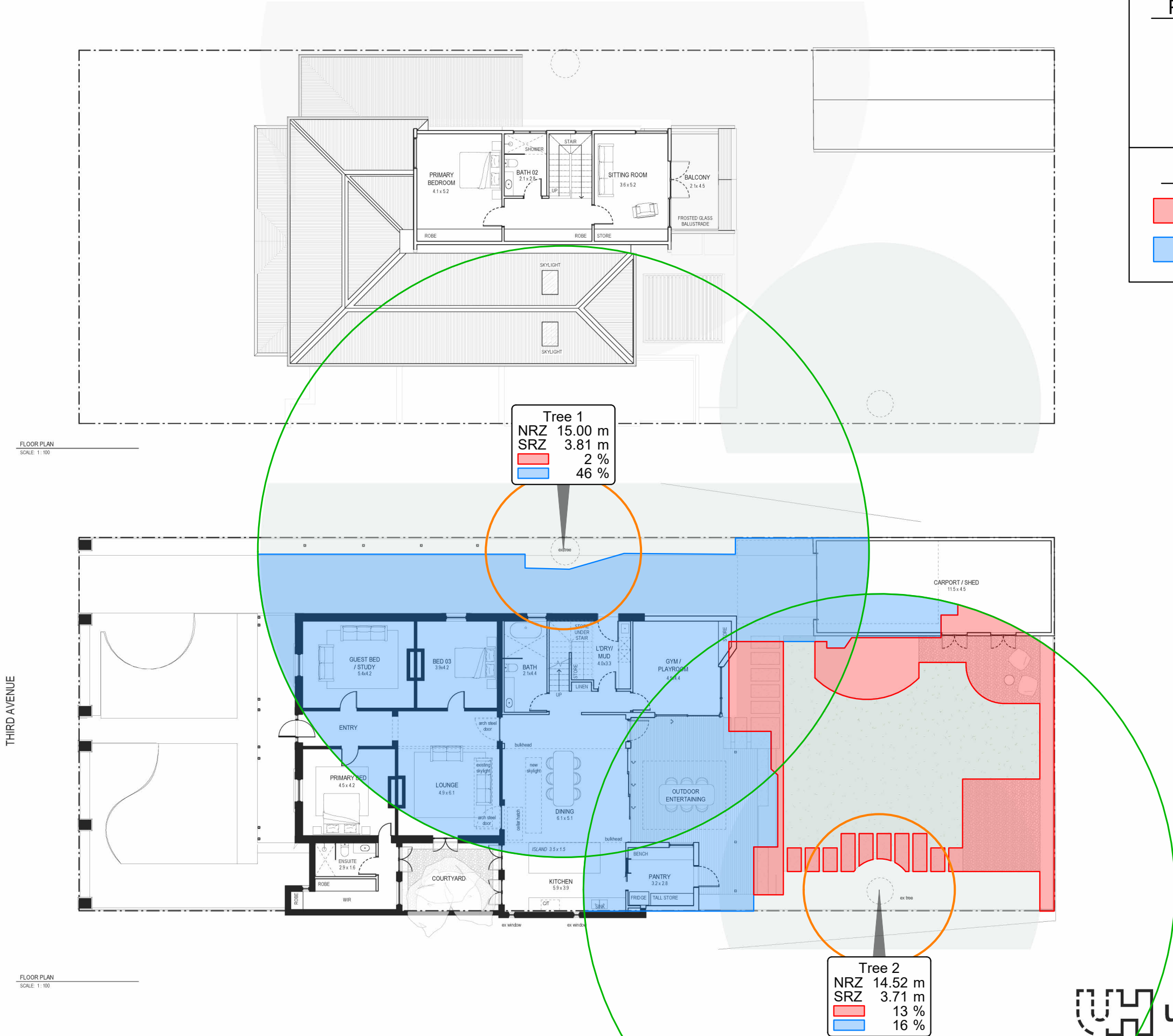
Protect the root zone, main trunk and crown in accordance with the recommendations and principles of AS4970-2025 Protection of trees on development sites.

Appendix C - Mapping

ATS7385-010ThiAveDIR 7/08/2025	
PDIA 2016 Status	
S	Significant
R	Regulated
E	Exempt
U	Unregulated
Encroachments	
<div></div>	New
<div></div>	Existing



ATS7385-010ThiAveDIR 7/08/2025	
PDIA 2016 Status	
S	Significant
R	Regulated
E	Exempt
U	Unregulated
Encroachments	
<div></div>	New
<div></div>	Existing



Appendix D - Tree Assessment Summary

Tree Assessment Summary

Tree No.	Botanic Name	Legislative Status	Retention Rating	Development Impact	NRZ Radius	Observations	Action
1	<i>Eucalyptus camaldulensis</i>	Significant	High	Low	15.00 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. There is a minor level of deadwood in the crown associated with previous decline, but is not a significant health concern. There has been historic removal of buttress roots but the tree has since adapted.	Protect Root Zone
2	<i>Eucalyptus camaldulensis</i>	Significant	High	Low	14.52 metres	This tree is considered to be in good overall condition, whilst the foliage density is slightly reduced, the new growth is healthy and there are no other indicators of reduced health.	Protect Root Zone

Appendix E - Tree Protection Zone Guidelines

Tree Protection Zone General Specifications and Guidelines

The Tree Protection Zone(s) is identified on the site plan, the TPZ is an area where construction activities are regulated for the purposes of protecting tree viability. The TPZ should be established so that it clearly identifies and precludes development/construction activities including personnel.

If development activities are required within the TPZ then these activities must be reviewed and approved by the Project Arborist. Prior to approval, the Project Arborist must be certain that the tree(s) will remain viable as a result of this activity.

Work Activities Excluded from the Tree Protection Zone:

- a) Machine excavation including trenching;
- b) Excavation for silt fencing;
- c) Cultivation;
- d) Storage;
- e) Preparation of chemicals, including preparation of cement products;
- f) Parking of vehicles and plant;
- g) Refuelling;
- h) Dumping of waste;
- i) Wash down and cleaning of equipment;
- j) Placement of fill;
- k) Lighting of fires;
- l) Soil level changes;
- m) Temporary or permanent installation of utilities and signs, and
- n) Physical damage to the tree.
- o) Any other activity that could impact on the tree.

Protective Fencing

Protective fencing must be installed around the identified Tree Protection Zone (See Figure1). The fencing should be chain wire panels and compliant with AS4687 - 2007 *Temporary fencing and hoardings*. Shade cloth or similar material should be attached around the fence to reduce dust, other particulates and liquids entering the protected area.

Temporary fencing on 28kg bases are recommended for use as this eliminates any excavation requirements to install fencing. Excavation increase the likelihood of root damage therefore should be avoided where possible throughout the project.

Existing perimeter fencing and other structures may be utilised as part of the protective fencing.

Any permanent fencing should be post and rail with the set out determined in consultation with the Project Arborist.

Where the erection of the fence is not practical the Project Arborist is to approve alternative measures.

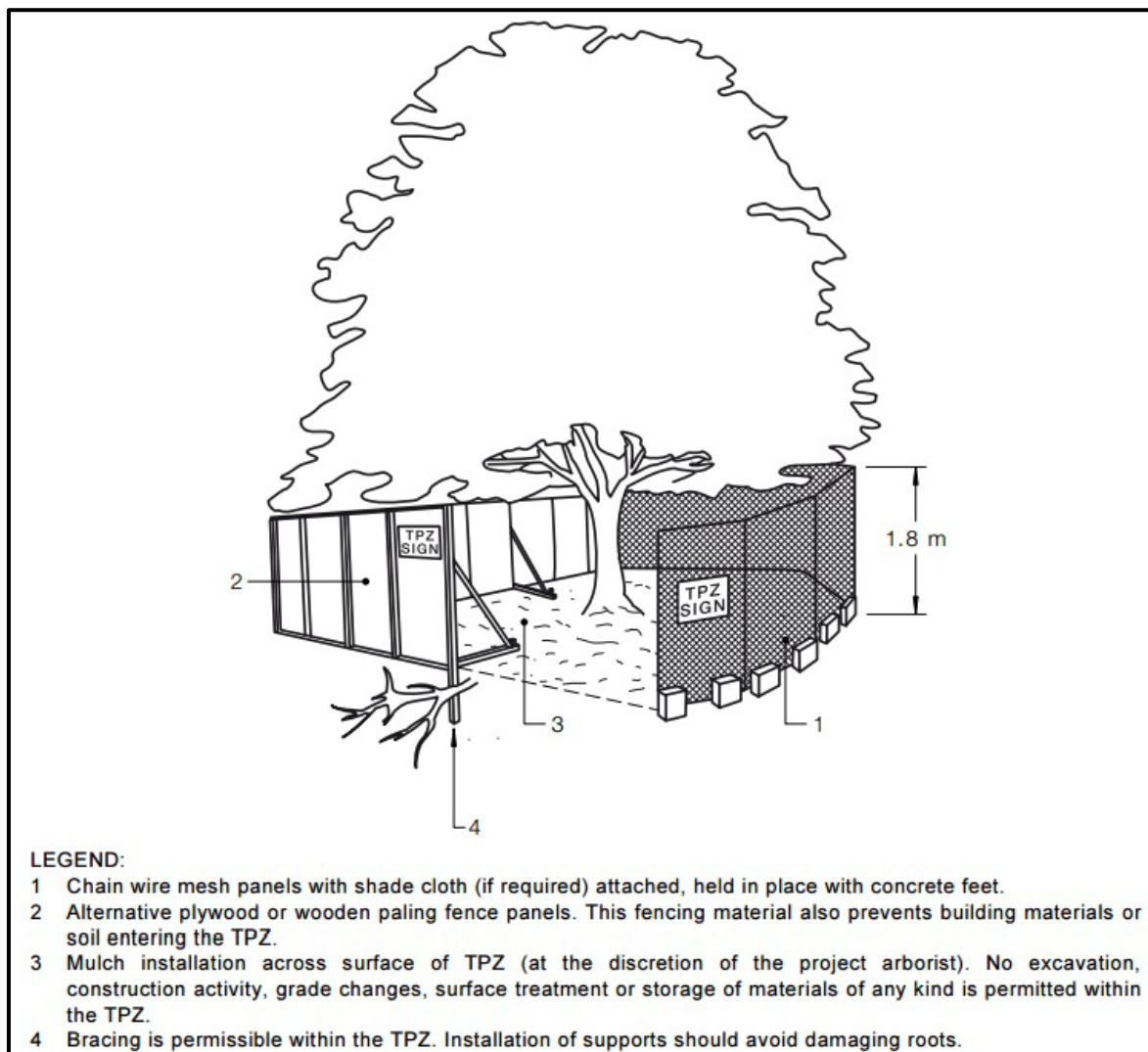


Figure 1 Showing example of protection fencing measures suitable.

Signage

The TPZ must be clearly identified with signs placed around the edge of the TPZ and be visible within the development site. Example of a Tree Protection Zone Sign at the end of this document..

Other Protection Measures

There are other protection methods that should be implemented within the development site and these include:

General

When a TPZ exclusion area cannot be established due to practical reasons or the area needs to be entered to undertake construction activities then additional tree protection measures may need to be adopted. Protection measures should be compliant with AS4970-2009 and approved by the Project Arborist

Installation of Scaffolding within Tree Protection Area.

Where scaffolding is required within the TPZ branch removal should be minimised. Any branch removal required should be approved by the Project Arborist and performed by a certified Arborist and performed in accordance with AS4373-2007. Approval to prune branches must be documented and maintained.

Ground below scaffold should be protected by boarding (e.g. scaffold board or plywood sheeting) as shown in Figure below. The boarding should be left in place until scaffolding is removed.

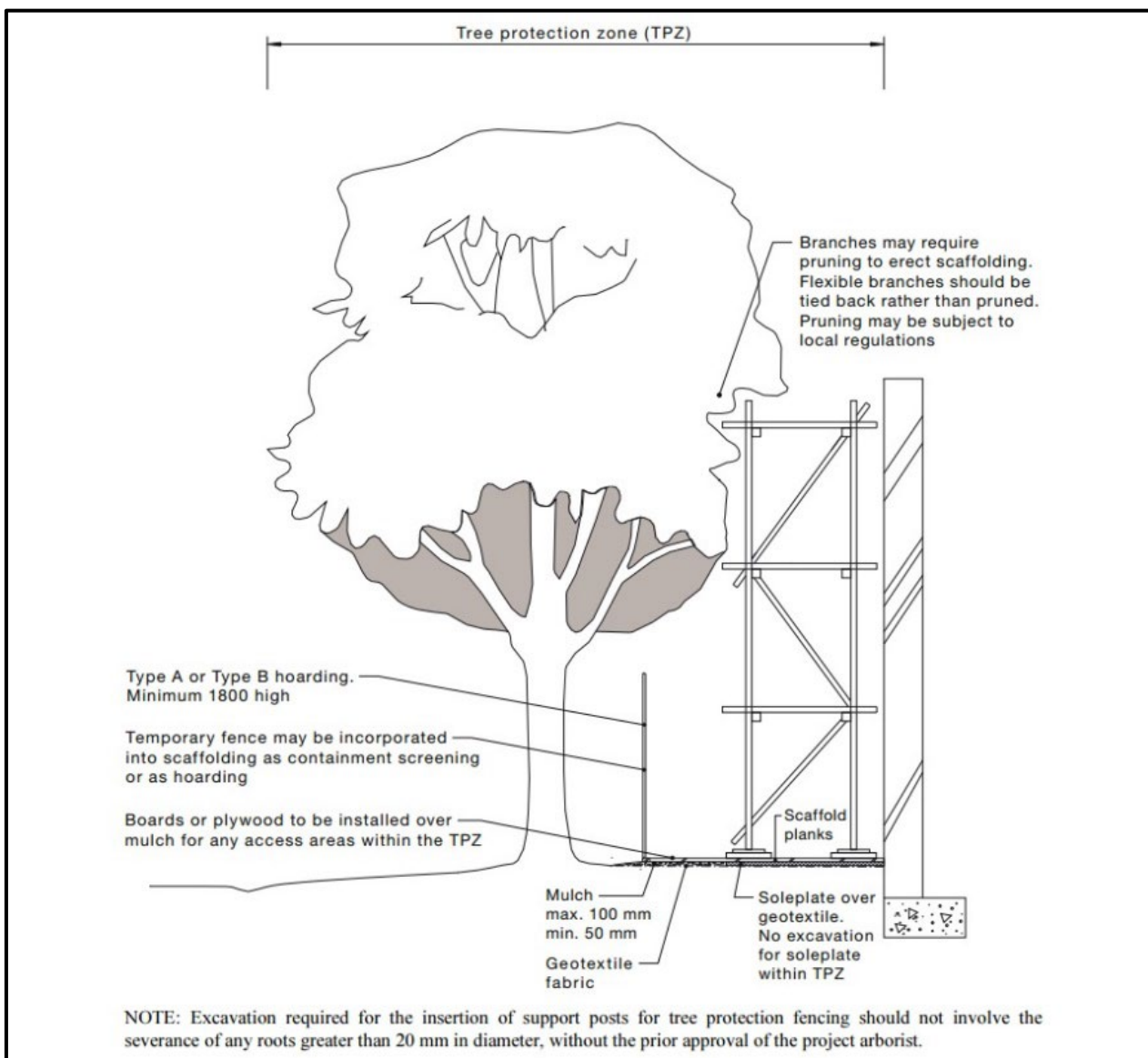


Figure 2 – Showing scaffold constructed within TPZ.

Ground Protection and TPZ Access

Temporary access within the TPZ can be achieved by the installation of suitable ground protection. The purpose of ground protection is to prevent damage to tree roots and avoid compaction of the soil.

Ground protection methods include the placement of a permeable membrane beneath a layer of non-compactable material such as mulch or a no fines gravel which is in turn covered with rumble boards or steel plates.

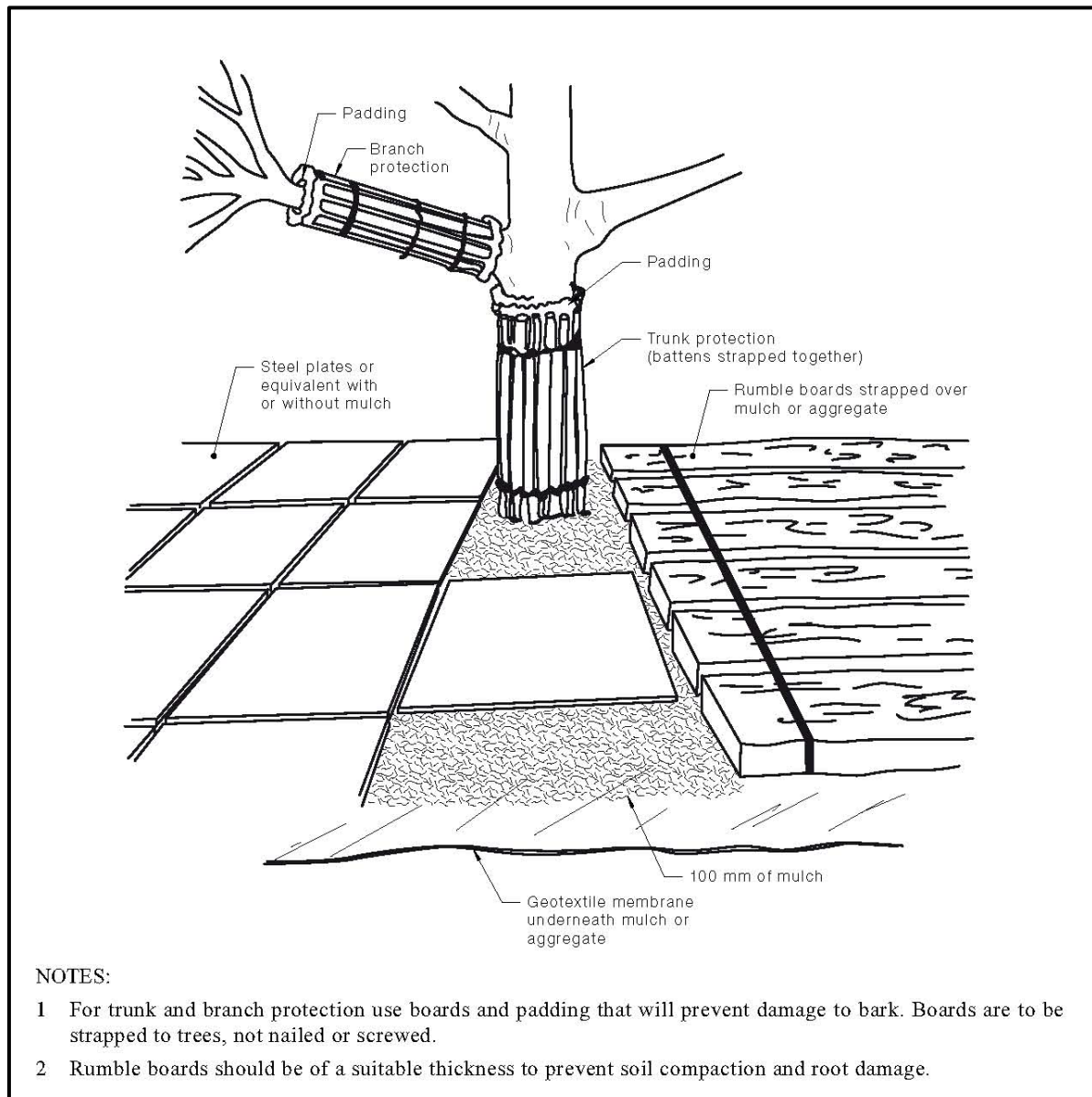


Figure 3 – Ground protection methods.

Document Source:

The previous three diagrams in this document are sourced from AS4970-2009 Protection of trees on development sites. Further information and guidelines are available in within that document.

Paving Construction within a Tree Protection Zone

Paving within any Tree Protection Zone (TPZ) must be carried out above natural ground level unless it can be shown with non-destructive excavation (AirSpade® or similar) that no or insignificant root growth occupies the proposed construction area.

Due to the adverse effect filling over a Tree Protection Zone (TPZ) can have on tree health; alternative mediums other than soil must be used. Available alternative mediums include structural soils or the use of a cellular confinement system such as *Ecocell*®.

Ecocell®

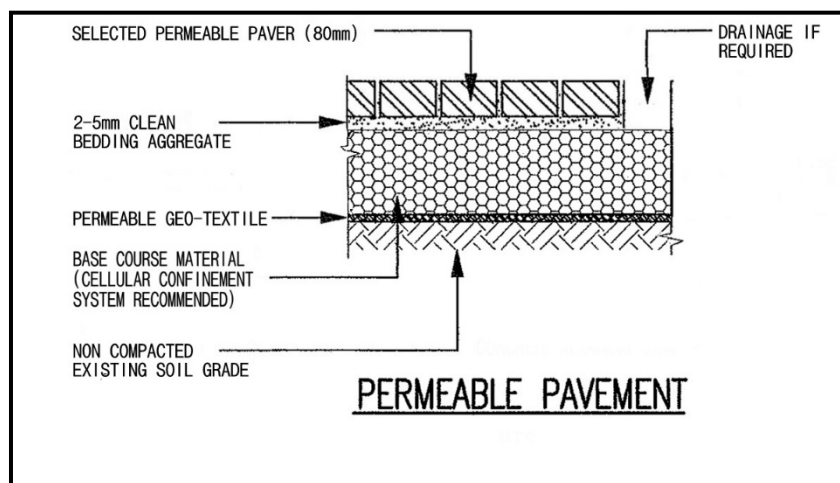
Ecocell® systems are a cellular confinement system that can be filled with large particle sized gravels as a sub-base for paving systems to reduce compaction to the existing grade.

Site preparation

- Clearly outline to all contracting staff entering the site the purpose of the TPZ's and the contractors' responsibilities. No fence is to be moved and no person or machinery is to access the TPZ's without consent from the local council and/or the Project Arborist.
- Fence off the unaffected area of the TPZ with a temporary fence leaving a 1.5 metre gap between the work area and the fence; this will prevent machinery access to the remaining root zone.

Installation of Ecocell® and EcoTrihex Paving®

- Install a non-woven geotextile fabric for drainage and separation from sub base with a minimum of 600mm overlap on all fabric seams as required.
- Add Ecocell®, fill compartments with gravel and compact to desired compaction rate.
- If excessive groundwater is expected incorporate an appropriate drainage system within the bedding sand level.
- Add paving sand to required depth and compact to paving manufacturer's specifications.
- Lay EcoTrihex Paving® as per manufactures specifications and fill gaps between pavers with no fines gravel.
- Remove all debris, vegetation cover and unacceptable in-situ soils. No excavation or soil level change of the sub base is allowable for the installation of the paving.
- Where the finished soil level is uneven, gullies shall be filled with 20 millimetre coarse gravel to achieve the desired level.



This construction method if implemented correctly can significantly reduce and potentially eliminated the risk of tree decline and/or structural failure and effectively increase the size of the Tree Protection Zone to include the area of the paving.

Certificates of Control

Stage in development	Tree management process	
	Matters for consideration	Actions and certification
Development submission	Identify trees for retention through comprehensive arboricultural impact assessment of proposed construction. Determine tree protection measures Landscape design	Provide arboricultural impact assessment including tree protection plan (drawing) and specification
Development approval	Development controls Conditions of consent	Review consent conditions relating to trees
Pre-construction (Sections 4 and 5)		
Initial site preparation	State based OHS requirements for tree work	Compliance with conditions of consent
	Approved retention/removal	Tree removal/tree retention/transplanting
	Refer to AS 4373 for the requirements on the pruning of amenity trees	Tree pruning Certification of tree removal and pruning
	Specifications for tree protection measures	Establish/delineate TPZ Install protective measures Certification of tree protection measures
Construction (Sections 4 and 5)		
Site establishment	Temporary infrastructure Demolition, bulk earthworks, hydrology	Locate temporary infrastructure to minimize impact on retained trees
		Maintain protective measures Certification of tree protection measures
Construction work	Liaison with site manager, compliance Deviation from approved plan	Maintain or amend protective measures Supervision and monitoring
Implement hard and soft landscape works	Installation of irrigation services Control of compaction work Installation of pavement and retaining walls	Remove selected protective measures as necessary Remedial tree works Supervision and monitoring
Practical completion	Tree vigour and structure	Remove all remaining tree protection measures Certification of tree protection
Post construction (Section 5)		
Defects liability/ maintenance period	Tree vigour and structure	Maintenance and monitoring Final remedial tree works Final certification of tree condition

Document Source:

This table has been sourced from AS4970-2009 Protection of trees on development sites. Further information and guidelines are available in within that document.

Tree Protection Zone



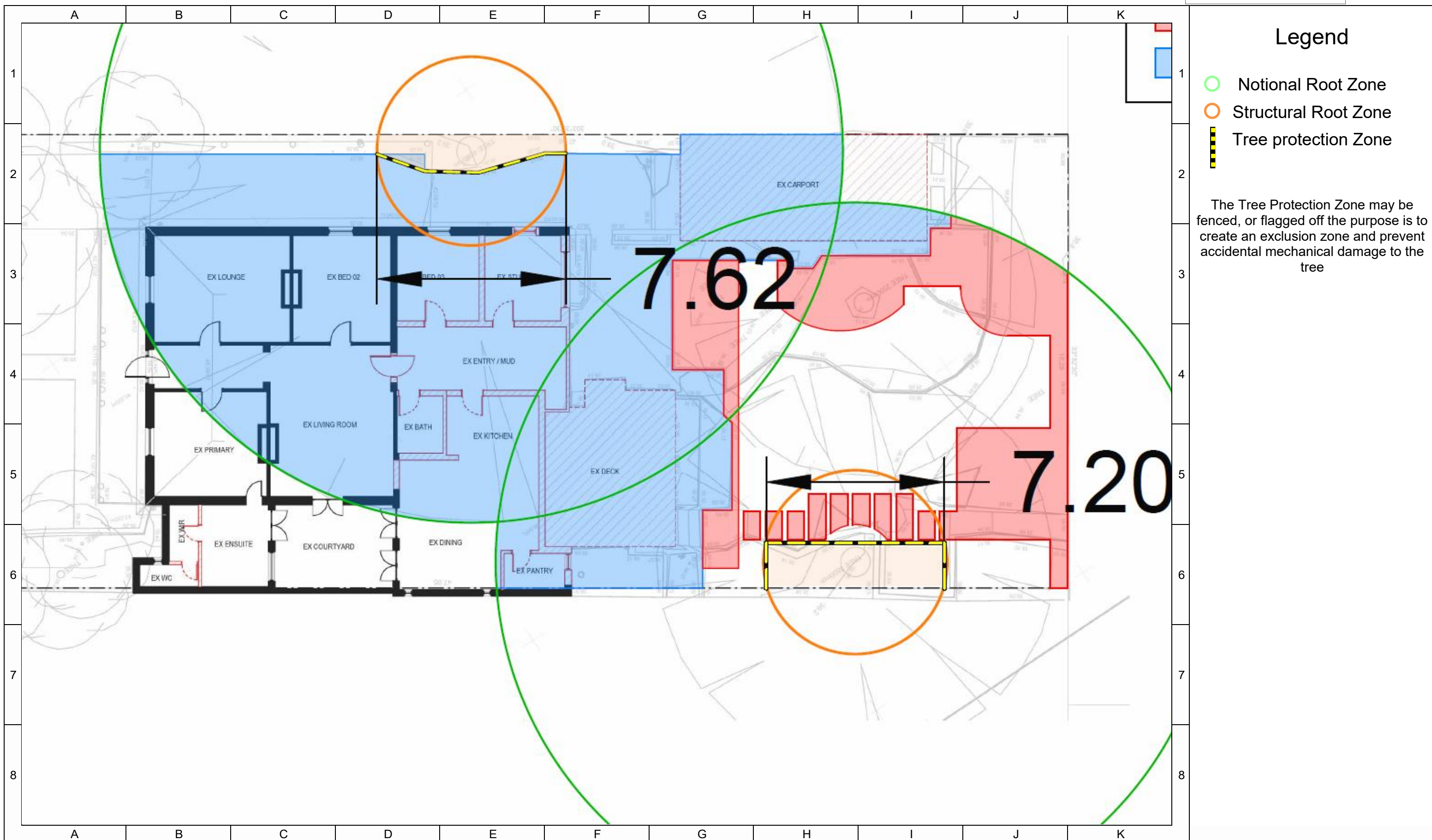
NO ACCESS

Contact: Arborman Tree Solutions

0418 812 967

e: arborman@arborman.com.au

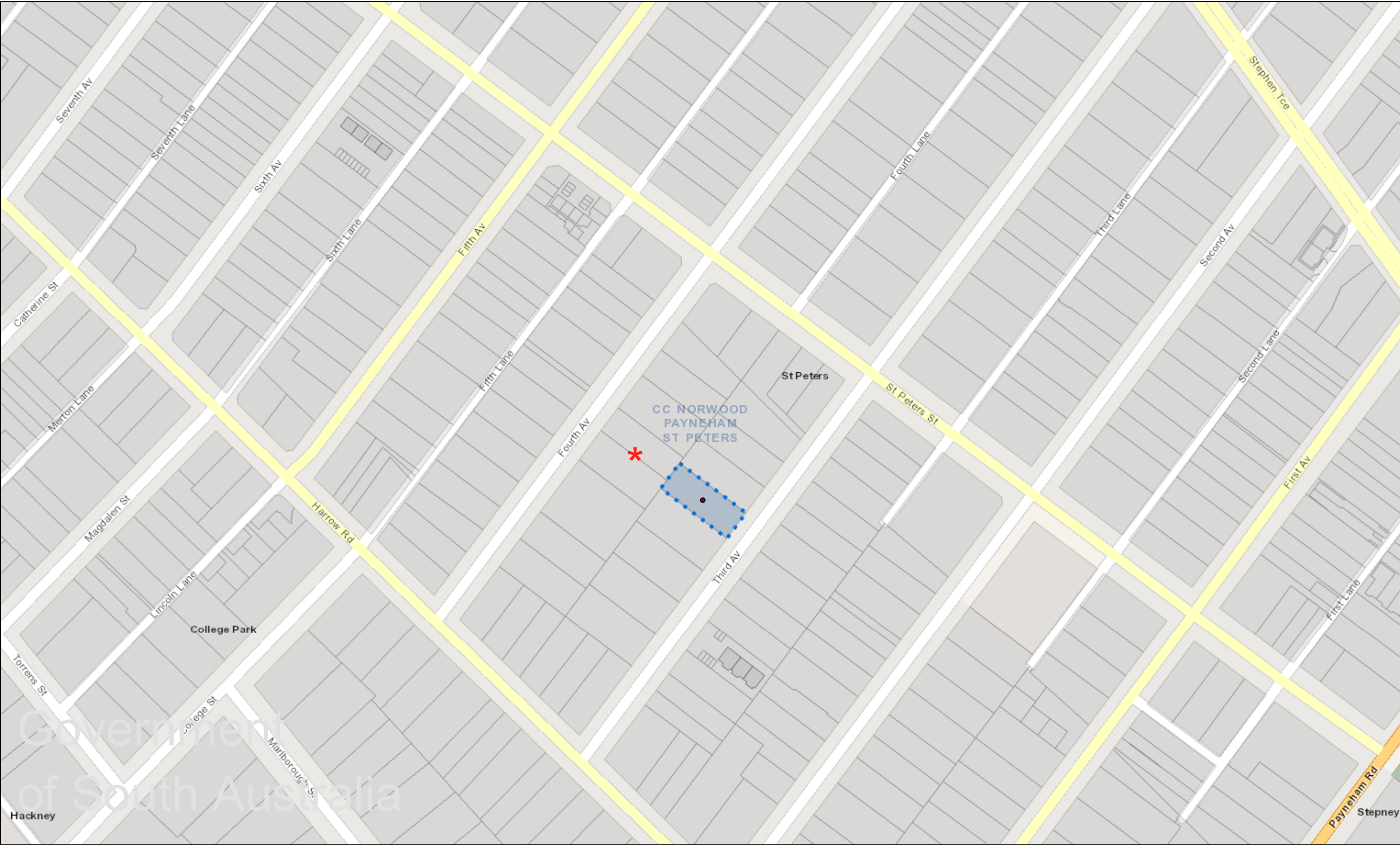






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Application Summary

Application ID	25024758
Proposal	Construction of a two-storey dwelling addition including partial demolition of the existing building, extension of existing carport, and construction of an outbuilding (garage)
Location	10 THIRD AV ST PETERS SA 5069

Representations

Representor 1 - Horton Pty Ltd ATT David Coventry

Name	Horton Pty Ltd ATT David Coventry
Address	
Submission Date	25/11/2025 05:11 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
See attached representation	

Attached Documents

Horton-DA-25024758-objection-1561533.pdf
--

24 November 2025

The Directors
Horton Pty Ltd

C/- Garth Heynen
P. 0417 848 061
E. garth@ heyenplanning.com.au

City of Norwood, Payneham and St Peters
ATT: Assessment Manager

By Upload

Dear Sir/Madam

Re: 10 THIRD AVENUE, ST PETERS - APPLICATION ID 25024758

I refer to your notice dated 5 November 2025 addressed to Horton Pty Ltd. We make the following submission on behalf of the registered proprietor, Horton Pty Ltd, which is the owner of the property that is more recently known as 7-9 Fourth Avenue, St Peters. This property adjoins the north-western (rear) boundary of the Applicant's land. For any further feedback or contact we have appointed Mr Garth Heynen of Heynen Planning Consultants to act on our behalf who can be contacted by phone or email, as listed above.

The intention of the representation is to ensure that our concerns are adequately addressed, and not necessarily to seek to stifle the proposed development. We welcome a response from the applicant so as to resolve our concerns as expressed hereafter.

The proposed inclusion of a first storey addition firstly creates real concerns of **overlooking** from the proposed upper floor into the 7-9 Fourth Avenue, St Peters including the rear living areas of the dwelling and adjacent yard which include pool and tennis court areas. We strongly oppose any loss of privacy to the dwelling or yard imposed by the Applicants intention for an upper floor bedroom, living area and balcony. To this end, we would need to be satisfied that (i) no windows or exterior balcony that orient in the direction of our private open space and living rooms would allow viewing into the dwelling or yard of 7-9 Fourth Avenue, St Peters and (ii) that glazed surfaces are not imposing reflected light.

The second concern relates to the **visibility of the upper floor portion** of the development from 7-9 Fourth Avenue, St Peters. You would be aware that the majority of dwellings within "The Avenues" subdivision of St Peters were designed as quality single storey dwellings and attempts have been made by Local Government to ensure the heritage significance of the locality is retained by maintaining the single storey theme, where possible. The proposal to build an upper level runs the risk of diminishing the heritage of the area due to conflicts caused by overlooking on adjacent sites and construction of structures which impose a higher vertical mass than was originally intended. There is also the risk of unwanted reflected light being imposed on neighbouring sites.

With this in mind, we note that the proposed development incorporates a gable ended wall above the proposed upper floor living area and above the ground floor playroom, even though the original dwelling includes no such elements. The drawings (see "Elevation – East") attempt to justify the vertical scale of the upper floor roof as offering minimal imposition on the original structure when viewed from Third Avenue at a particular angle.

Respectfully, this side-on line of sight fails to recognise that if the view angle is changed to a point adjacent either end of the property frontage the angle of the existing roof provides little visual screening of the upper level (portions highlighted below):



The proposed upper level, in our view, will appear as a new and incongruous element relative the existing dwelling and also within the streetscape. In effect the upper level will be distinctly different and one that confuses the presentation of and diminishes the value of the contribution made by the existing dwelling. This design approach is inconsistent with the following planning guidance, for example:

Historic Area Overlay

PO 2.1

The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area

PO 2.3

Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.

Established Neighbourhood Zone

PO 4.2

Additions and alterations do not adversely impact on the streetscape character.

PO 10.2

The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.

The design approach to the upper level and the gable roof line also offers no consideration when being viewed from the rear neighbour. To this end, the roof form of the upper floor imposes unnecessarily excessive height when viewed from the yard of 7-9 Fourth Avenue, St Peters. In our view the proposal offends the planning policies by not achieving the following:

Established Neighbourhood Zone

PO 4.1

Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

At this stage our concerns are not resolved by the proposal, and we seek the following revisions:

- (1) Consideration of amending the roof line to a low single pitch form to reduce the building height and enable the addition to provide a more contemporary style façade and potentially giving more appropriate differentiation from the original dwelling style
- (2) Carrying over any amendments to the rear elevation design to ensure that the visual appearance from 7-9 Fourth Avenue, St Peters is diminished
- (3) Providing specific detail as to what constitutes “fluted obscure glazing” so as to ensure that sufficient “block out” of views is provided to the private open space and living rooms at 7-9 Fourth Avenue, St Peters
- (4) Provide detail to ensure that no imposition is experienced from reflected light onto living spaces or yard of 7-9 Fourth Avenue, St Peters.

You will note that we have elected to speak/be heard at a Council Assessment Panel meeting. If our concerns can be addressed by amended drawings and/or more detail we are willing to consider rescinding this objection.

At this stage however our concerns remain legitimate and we thank you for your consideration of the preceding.

Yours sincerely



Director
Horton Pty Ltd

Representor 2 - Wayne Henry

Name	Wayne Henry
Address	
Submission Date	15/11/2025 08:09 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons The proposed design is not consistent with the Neighborhood and should be reconsidered. I'm not opposed to the redevelopment, just the design	

Attached Documents



Level 1, 74 Pirie Street
Adelaide SA 5000
PH: 08 8221 5511
W: www.futureurban.com.au
E: info@futureurban.com.au
ABN: 76 651 171 630

January 12, 2026

Ned Feary
City of Norwood, Payneham and St Peters
Via: The PlanSA Portal

Dear Ned,

APPLICATION 25024758

I have been instructed by the Applicant, Urban Habitats, to respond to the assertions made, and concerns raised, during the notification period. I have since reviewed the notification summary and note that:

- two (2) representations were made;
- one (1) representor offered qualified support for the proposed development;
- one (1) of the representors (see Representation 2) is opposed to the proposed development; and
- only one representation, that was opposed to the proposed development, relates to an 'adjacent' property.

Further to above, and prior to setting out my formal response, I would also like to note the following:

- The Council's heritage advisor is understood to be supportive of the proposal, including its overall design merits;
- Neither representor, in their submissions, provided any qualified advice from an independent heritage consultant that contradicts the Council's heritage advisor;
- The Applicant has worked diligently with the Council's assessing officer, as well as the Council's heritage advisor, to refine the original proposal to a point where the design has since been supported.

My responses are set out, in no particular order, below.

Overlooking

Representor 1 has asserted that the proposed development will create the potential for overlooking from the proposed upper floor level to the rear living areas of their property and adjacent yard, which includes the pool and tennis court areas.

In response to these assertions, I note that:

- the proposed balcony is located approximately 16.5 metres from the Applicant's north-western (rear) boundary, which is shared with the representor's property. For clarity, Part 8 of the Planning and Design Code (**Code**) defines direct overlooking as follows:

"In relation to direct overlooking from a window, is limited to an area that falls within a horizontal distance of 15 metres measured from the centre line of the overlooking window and not less than 45 degree angle from the plane of that wall containing the overlooking window."



In relation to direct overlooking from a deck, balcony or terrace, is limited to an area that falls within a horizontal distance of 15 metres measured from any point of the overlooking deck, balcony or terrace.”

Based on this definition, neither the proposed upper-level windows nor the balcony can reasonably be considered to directly overlook the representor’s habitable rooms or private open space.

Notwithstanding this, I also note that:

- all rear and side-facing upper-level windows have still been designed with permanently fixed obscure glazing to a minimum height of 1.5 metres above the first-floor finished floor level, as demonstrated on Drawing 1.3 Rev. F prepared by Urban Habitats. This outcome is consistent with Designated Performance Feature (DPF) 10.1 of the Design in Urban Areas Section of the Code;
- the balcony associated with the proposed addition still incorporates frosted glass balustrading on all sides to a height of 1.5 metres (refer Drawing 1.3 Rev. F). This design response accords with Performance Outcome (PO) 10.2 of the Design in Urban Areas Section of the Code and materially limits opportunities for direct overlooking;
- DPF 10.2 of the Design in Urban Areas Section of the Code seeks that development *mitigates* direct overlooking from upper-level windows and balconies; it does not require that overlooking be eliminated altogether. In this instance, and as outlined above, the Applicant has adopted multiple complementary design measures, including obscure glazing, frosted balustrading and separation distances, that collectively achieve the intent of the relevant policy. The representor can, therefore, be assured they will continue to enjoy their existing level of privacy;
- there are established trees and structures located within and between the Applicant’s rear yard and the Representor’s property, in close proximity to the shared boundary. These elements collectively provide existing visual screening and materially limit viewing angles between the sites, including toward the Representor’s private open space areas and habitable room windows. In addition, the Applicant has recently planted hedges along the rear boundary fence, which will further reduce the potential for overlooking over time.

Having regard to the above, it is considered that the proposed development will not result in direct overlooking of the representor’s property as defined by Part 8 of the Code and will allow them to continue to enjoy a level of privacy consistent with existing conditions. The proposal therefore satisfies the intent of DPFs 10.1 and 10.2 of the Design in Urban Areas Section of the Code.

Visibility of the Upper Floor Portion

Representor 1 has also raised concerns regarding the visibility of the proposed upper-level addition when viewed from their property and the incongruence of its design within the locality, specifically the risk of diminishing the “heritage significance” of the area due to conflicts caused by:

- the potential for overlooking on adjacent sites;
- the perception of increased vertical mass; and
- the potential for unwanted reflected light onto their property.

In response to these assertions, I note that:

- the existing dwelling is not identified as a Local Heritage Place. Rather, the site is located within the Historic Area Overlay and the Established Neighbourhood Zone (**Zone**). Accordingly, the assessment of built form, scale and visibility must be undertaken with reference to the relevant Overlay and Zone policies, rather than heritage-specific policies, which impose more stringent



requirements in relation to the retention and expression of individual heritage fabric. It appears that the representor has conflated the intent of these differing policy frameworks;

- as outlined in the preceding response relating to overlooking, there are established trees and structures located within and between the Applicant's rear yard and the Representor's property, in close proximity to the shared boundary. These elements collectively provide trees provide existing visual screening between the site and the Representor's land and materially limit views of the upper-level addition when viewed from their land. In addition, the Applicant has recently planted hedges along the rear boundary fence, which will further reduce the potential for visibility of the proposed addition over time;
- none of the policies within the Zone and the Historic Area Overlay of the Code, which relate to historic character and design and which the proposed development is assessed against, speak to minimising the potential for overlooking. Matters relating to overlooking and privacy are addressed separately within the Design in Urban Areas Section of the Code and have been previously considered and responded to;
- while the Zone generally contemplates a maximum building height of one building level, DPF 4.2 of the Zone clearly outlines the circumstances in which second or subsequent building levels for additions are contemplated. This demonstrates that two-storey additions can be developed within the Zone where they do not adversely impact streetscape character;
- the Historic Area Statement (**HAS**) that applies to this site contemplates buildings that are 'predominantly single-storey, up to two storeys in some locations.' The use of the term 'predominantly' does not imply exclusivity, nor does the HAS explicitly prescribe or limit the locations where two-storey development may occur;
- the Representor's concerns relate primarily to the visibility of the upper level from their private property, abutting the site's rear boundary. However, the relevant policies within the Historic Area Overlay (POs 2.1 and 2.3) and the Zone (POs 4.2 and 10.2) are principally concerned with impacts on the public realm and streetscape, rather than private views from adjoining land.

Firstly, as previously noted, Council and its heritage advisor have considered these streetscape and contextual impacts and are satisfied that the proposal meets the intent of the relevant policies;

Secondly, the upper-level portion of the addition is approximately 21 metres from the primary road frontage and situated approximately 10 metres back from, and wholly behind, the primary building line facing Third Avenue, making it highly recessive within the streetscape and aligning with the setback of upper-level additions to other dwellings (specifically, the dwelling at 14 Third Avenue, St Peters);

Finally, DPF 4.2 of the Zone seeks that additions and alterations are located behind the front façade building line and that second or subsequent building levels do not project beyond a 45-degree angle measured from ground level at the building line of the existing dwelling. The proposed addition satisfies these parameters and sits comfortably outside the prescribed 45-degree plane, as illustrated in Figure 1 overleaf. This outcome reinforces that the addition will remain visually recessive when viewed from Third Avenue and will not dominate the existing dwelling or the streetscape;

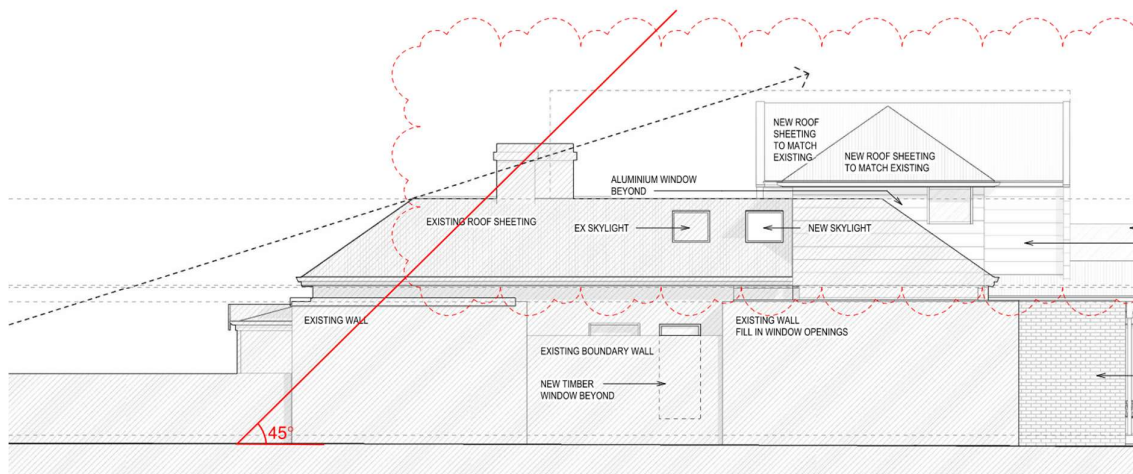


Figure 1: East elevation showing a 45-degree angle from the building line

- the Representor's concerns regarding potential reflected light are not grounded in any specific policy consideration. In any event, there is no evidence to suggest that the proposal would result in reflective light impacts of a magnitude that could reasonably be considered unacceptable, particularly given the presence of substantial existing visual screening and the use of conventional, non-reflective external materials typical of residential development; and
- the adjacent dwelling at 14 Third Avenue incorporates an upper-level addition to the rear, with a comparable degree of visibility when viewed from adjoining properties and utilising more contemporary materials than the original dwelling (see Figure 2 below). PO 4.1 of the Zone seeks that buildings complement the height of nearby buildings and, in this context, the proposed addition will be complementary to the established pattern of rear upper-level additions and their associated design responses within the locality.



Figure 2: Streetscape view of upper-level addition (circled in red) at 14 Third Avenue, St Peters



Having regard to the above, it is considered that the visibility of the upper-level addition has been appropriately managed through careful siting, reduced scale and contextual design, and that the proposal satisfies the intent of the relevant Historic Area Overlay and Zone policies.

Design

Representor 2, who resides approximately 330 metres south-east of the site and has offered conditional support for the proposal, has asserted that the design is not consistent with the neighbourhood.

In response to this, I will reiterate that:

- the Representor has not identified any specific POs, DPFs or other policies in the Code against which the proposal is alleged to be inconsistent. In the absence of a policy-based assessment, it is difficult to meaningfully interrogate or respond to the basis of this concern; and
- their concern is, therefore, simply a matter of opinion. While such views are acknowledged, they are not determinative and must be weighed against the professional assessment of the proposal. In this regard, it is relevant that the design has been the subject of detailed consideration and refinement through discussions with the Council's assessing officer and heritage advisor, both of whom, as I understand it, are now satisfied with the proposed design.

If you have any queries regarding my overarching response or the application itself, please do not hesitate to contact me in the first instance.

Also, would you kindly confirm, in due course, the particulars of the CAP Meeting at which Application 25024758 will be determined, as I have been instructed by the Applicant to attend that meeting on their behalf.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'N. Giannakodakis', written in a cursive, flowing style.

Nicholas Giannakodakis
Senior Consultant

HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **10 Third Av St Peters**
 APPLICATION NUMBER: **25024758**
 DATE: 12 January 2026
 PROPOSAL: Additions and alterations, new garage.
 HERITAGE STATUS: REPRESENTATIVE BUILDING
 THE AVENUES HISTORIC AREA OVERLAY
 HERITAGE ADVISOR: David Brown, BB Architects
 PLANNER: Edmund Feary



City of
Norwood
Payneham
& St Peters

ADVICE SOUGHT

No pre Planning Consent advice has been sought from Council's Heritage Advisor by the applicant. I provided advice to the applicant regarding potential changes to the design to make it more appropriate in the historic context.

DESCRIPTION

The building is a painted sandstone fronted Victorian cottage. The site is in the Established Neighbourhood Zone within the Avenues Historic Area Overlay.



PROPOSAL

The proposal is to remove part of the rear addition and the existing garage, and to construct a new two-level addition, extend the existing carport, and to construct a new freestanding garage at the rear of the site.

The revised proposal now no longer includes any demolition of the original portion of the dwelling.

COMMENTS

The proposed ground level addition and alterations works are generally an acceptable outcome. The upper level will be visible from the street due to the location of the adjacent church building. The modifications I suggested to move the upper level addition further back so they do not impact the existing building have been incorporated, and assist with the visual and physical separation of this element.

However, even with these minor changes, the upper level will still be visible from the street. In this area with a single level TNV, visible upper level additions do not complement the single level historic streetscape character, and for this reason, I do not believe this two level addition is suitable in this context.

6. **DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT**
7. **REVIEW OF ASSESSMENT MANAGER DECISIONS**

8 ERD COURT APPEALS

**8.1 CONFIDENTIAL MATTER – ENVIRONMENT RESOURCES AND DEVELOPMENT COURT
APPEAL - DEVELOPMENT APPLICATION ID 25007549**

- 9. **OTHER BUSINESS**
 (Of an urgent nature only)
- 10. **CONFIDENTIAL REPORTS**
- 11. **CLOSURE**